



# Homeowner Maintenance Manual



**CORNERSTONE**  
COMMUNITIES

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## Introduction

Dear Homeowner:

Welcome to your new home! Buying a home is a major decision and we know that you've had a number of alternatives in choosing yours. We take pride in our homes and will continue to make every effort to demonstrate that you have made a good decision. We are pleased that you have chosen us, and wish you many years of enjoyment and satisfaction.

We want you to know that we stand for quality and for providing you with excellent warranty service. We provide this Homeowner's Manual to assist you in maintaining and caring for your home. It also outlines the process for requesting service, should you need it.

We hope that you find this manual useful as you become acquainted with your home and seek to understand its maintenance requirements. We also hope that this tool will be an asset in helping us establish a positive, ongoing warranty service relationship.

Very truly yours,

Comerstone Communities

## GETTING STARTED

This manual has been prepared specifically with you in mind. It is an important tool in helping you establish a comprehensive and proactive preventive maintenance program to ensure your home stays in optimum condition. It also explains your homebuilder's warranty and warranty service procedures to remedy homeowner concerns in the first year of homeownership.

Your Homeowner Manual contains descriptions and examples of the major components and materials found in and around your home. It also identifies the primary preventive maintenance tasks and schedules necessary for a successful maintenance program.

### How To Use This Manual

The manual has been divided into several key sections for your easy navigation:

**Homebuilder's Warranty** highlights the items covered by your builder during the first year of your home ownership.

**Interior** covers the various systems and components found within your home and details specific maintenance tasks and time frames to keep your home at its best.

**Exterior** describes the maintenance necessary to keep the exterior components of your home looking and working their best.

**Landscaping** details the care and maintenance needed to ensure that your drainage & irrigation, hardscape, plants, and walls & fencing stay in optimum condition.

**Special Considerations** offers information about conditions, such as mold, that may require special attention and treatment.

**Home Maintenance Summary** contains some of the primary maintenance tasks covered in this manual and are grouped by frequency needed for easy reference.

**Glossary** contains definitions of terms found in this manual that you may not be familiar with.

**Appendix** may include additional documents or information from your builder and is a convenient place for you to add related information for easy accessibility.

**Manufacturer Documentation (Manufactured Products)** may contain product information and warranties for manufactured products in your home such as appliances, windows, etc.

The maintenance information and program outlined in this manual will only be as effective as their implementation. Without a clearly defined strategy for implementing the maintenance, diligent adherence to that system, and conscientious follow-up to ensure all maintenance items are completed per schedule, proper maintenance of your home and property will not be achieved.

To ensure effective implementation of this manual you must:

**1. Make maintenance a priority.**

Cost effective maintenance includes attending to immediate maintenance needs and implementing a comprehensive preventive maintenance program. Preventive maintenance is important in extending the life of and maintaining the appearance of your property. This is essential in maintaining property value.

**2. Use the Home Maintenance Summary.**

The Home Maintenance Summary contains maintenance recommendations for your home, organized by frequency (monthly, twice per year, etc.). Refer to this chapter as a reminder of how often various components in your home need to be maintained.

**3. Perform regular inspections and update your Maintenance Manual.**

Regularly assess the condition of each component on your property and update your maintenance manual as your home's needs change. One of the benefits of regularly scheduled maintenance inspections is a clearer picture of the maintenance needs over time. As these evolve and become more distinct, update your maintenance manual to incorporate your home's changing maintenance requirements.

## Some Key Recommendations

**Use professionals.** For maintenance tasks outside your expertise or ability, it is best to hire licensed professionals. Hiring vendors without proper licenses, bonding and insurance is risky.

**Keep water off driveways, sidewalks and away from your house.** Water intrusion is a common problem due to improper landscape maintenance. Keep soil below the weep screed at the foundation. Caulking around windows is also essential.

**Do not allow wood to come in contact with soil.** Wood that comes in contact with soil deteriorates very quickly. This can result in premature replacement of the wood components of your home.

## Icon Key

Icons draw attention to especially important information:



The **Note** icon indicates important points of interest related to the current subject.



The **Caution** icon brings your attention to conditions and maintenance steps that, if not properly followed, could result in damage to your home or property.



The **Warning** icon alerts you to conditions that could be hazardous to you, your family, or your guests.

## INTENT AND LIMITATIONS

The intent of this manual is to identify the major physical components found on your property, to describe the ordinary maintenance recommendations for these components, and to facilitate a long and healthy relationship with our warranty service department.

The expert advice, preventive maintenance recommendations, and inspection program included in this manual will assist you in monitoring the condition and needs of your property. They will also allow maintenance practices to be adjusted to obtain the best results that can be reasonably expected, given the conditions which exist at your property.

**Maintenance Needs.** This manual was written based on normal use in average environmental and weather conditions. The maintenance needs of your property, however, are never fully predictable. Your home and property are subject to all types of unusual weather conditions, normal and abusive use, vandalism, and the unexpected. The time frames within this publication are based on industry standards and the best information currently available, however, adjustments may need to be made to compensate for either adverse or exceptional conditions. Over time, the maintenance requirements of your home will undoubtedly change. Physical components may change as replacements are made. This is another reason to update your maintenance manual.

**Limitations.** Since it is not possible to foresee every potential maintenance need that might arise, this manual is not all encompassing and should not be considered as the sole source of information about maintenance requirements for your home. However, used in conjunction with other industry information and expert advice available, it will provide a good basis for strategic planning.

**Building Standards.** Your home and property were built and developed to meet or exceed prevailing building codes and industry standards for your community and region. Most of your home's primary finishes and its supporting structure are an assembly of naturally occurring materials, selected and assembled to current building standards. Because they are subject to a range of local environmental conditions unique to your site and community, variations in appearance and performance will normally occur.

**Manufacturer Documentation.** It is important to familiarize yourself with the Owner's Manuals that came with the products installed in your home. In the event of a conflict between the guidelines in this manual and those provided by the manufacturer of any component in your home, the manufacturer's guidelines prevail.

**Homeowner's Association.** If your home is located in a Homeowner's Association (HOA), also called a Common Interest Development, it is important that you familiarize yourself with the restrictions and regulations associated with your CC&R's and HOA common area. The maintenance responsibilities that come with living in an association vary by whether you live in a single family home or condominium. Know who your HOA point of contact is and the Property Manager who has been appointed to care for your community.

### **Benefits Of Using This Manual**

There are several great reasons to follow the recommendations found in this manual:

- They collectively serve as an excellent management tool in helping inspect your property and schedule maintenance.
- California State Law (Civil Code Title 7) and conditions of your homebuilder's warranty require you to properly maintain your home in order to retain your full rights to have your builder correct construction deficiencies during and after the warranty period.
- Preventive maintenance saves you money and time.
- Property values tend to be higher with proper maintenance.

Implementation of the preventive maintenance tasks and schedules in this manual will maximize the beauty of your home and help ensure that the intended life expectancy of the components in your home is reached. By using these time-tested checks and balances, you will also greatly reduce the inconvenience when an element fails or is no longer aesthetically pleasing.

## Contact Information

*This section contains contact information that the Builder considers important and useful to a homeowner. This information may include builder contact numbers, utility departments, city and county websites, local schools, etc.*



## Homebuilder's Warranty

### WHAT'S COVERED

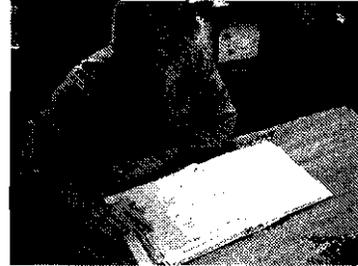
For a period of one year from your close of escrow, you are covered by your builder's express written warranty covering the fit and finish of building components (such as cabinets, mirrors, flooring, interior and exterior walls, countertops, and paint finishes or trim) and are subject to the terms and exclusions of that warranty.

The fit and finish warranty means that the builder will repair significant defects or failure of these items. Scratches or damages caused by the homeowner or others after the move in are the responsibility of the homeowner.

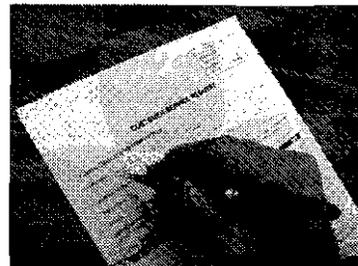
Nothing in this document is intended to imply that the builder is offering an enhanced protection agreement.

## HOW TO REQUEST SERVICE

- 1** Review the Warranty to determine what it says regarding the item you believe requires service.



- 2** Complete the Warranty Service Request form. Please include your address and work and home phone numbers. Describe in detail the item, including the location of the item (e.g. kitchen or master bathroom) requiring service.



- 3** DELIVER or MAIL the completed form to:

Warranty Service Department

Cornerstone Communities  
4365 Executive Drive, Suite 600  
San Diego, CA 92121

Telephone: (858) 458-9977



FIT & FINISH WARRANTY

SELLER: \_\_\_\_\_
BUYER: \_\_\_\_\_

TRACT: \_\_\_\_\_
LOT/UNIT: \_\_\_\_\_

SUBJECT TO THE EXCLUSIONS AND LIMITATIONS LISTED BELOW, SELLER PROVIDES THE FOLLOWING FIT AND FINISH WARRANTY ("WARRANTY") ON THE RESIDENCE BUYER IS PURCHASING AT THE ABOVE REFERENCED LOT/UNIT:

ARTICLE 1
DEFINED TERMS

As used in this Warranty, the following terms shall have the meanings described below.

- 1.1 Close of Escrow: "Close of Escrow" means the date of recordation of the grant deed conveying the Residence from Seller to Owner.
1.2 Components: "Components" means cabinets, mirrors, flooring, interior and exterior walls, wall coverings, countertops, paint finishes and trim.
1.3 Condominium: "Condominium" means an undivided interest in certain property held in common coupled with a separate interest in the living space of an attached residential unit.
1.4 Deficiency: "Deficiency" means the Fit and Finish of a Component does not meet standards of quality as measured by acceptable trade practices or applicable industry standards, subject to the terms, conditions and exclusions of this Warranty.
1.5 Fit and Finish: "Fit and Finish" means the non-structural, cosmetic appearance or alignment of the Components, subject to the terms, conditions and exclusions of this Warranty.
1.6 Maintenance Manual: "Maintenance Manual" means the maintenance manual provided by Seller to Owner which sets forth the obligations of the Owner for maintenance of the Residence and a schedule for such required maintenance.
1.7 Owner: "Owner" means Buyer or any successor owner of the Residence.
1.8 Owner Orientation: "Owner Orientation" means the walk-through inspection of your Residence, with a Seller representative, prior to Close of Escrow for the purpose of familiarizing you with the features and appliances in your Residence and during which the Fit and Finish of Components will be inspected and if any Deficiencies are discovered, they must be identified and reported to the Seller representative. If such Deficiencies are not reported at the time of the Owner Orientation, they may be excluded from coverage under this Warranty, as items of damage caused by Buyer or a third party.
1.9 Purchase Agreement: "Purchase Agreement" means the Real Estate Purchase Agreement, Joint Escrow Instructions and Receipt for Deposit entered into between Buyer and Seller for the purchase of the Residence.
1.10 Residence: "Residence" means either (a) the separate interest in the living space of an attached residential unit occupied or leased by an Owner, or (b) the single family home occupied or leased by an Owner.
1.11 Seller: "Seller" means Provence at RHR, L.P. a California limited partnership.
1.12 Unforeseen Acts of Nature: "Unforeseen Acts of Nature" means a weather condition, earthquake, or manmade event such as war, terrorism, or vandalism, in excess of the design criteria expressed by the applicable building codes, regulations, and ordinances in effect at the time of original construction.
1.13 Warranty Period: "Warranty Period" means ONE YEAR from the Close of Escrow.

ARTICLE 2
WARRANTY

Seller warrants the Fit and Finish of the Components to be free from Deficiencies during the Warranty Period, subject to the exclusions in Article 4.

**ARTICLE 3  
SCOPE OF WARRANTY**

- 3.1 **Seller's Performance.** During the Warranty Period, Seller will, within a reasonable amount of time, if repair or replacement is appropriate under this Warranty, repair or replace the affected Components at no charge to Owner. The decision whether to repair or replace the Components shall be within the sole discretion of Seller.
- 3.2 **Repair Materials/Subcontractors.** All repairs or replacements will be made with materials or components identical to, or of an equal or better grade or quality than the materials or components used in the original construction of the Residence. Seller has the right to choose the specific materials and components and the subcontractors used for repair or replacement work in its sole discretion. There could be color or texture variations with the new materials.
- 3.3 **Assignment of Other Insurance and Warranties.** In the event Seller repairs, replaces or pays the cost of repairing or replacing any Deficiency covered by this Warranty for which Owner is covered by any other insurance or warranty, Owner hereby assigns to Seller all rights, proceeds or payments under such other insurance or warranty to the extent of the actual cost of repair or replacement incurred by Seller, and hereby authorizes Seller to file a claim against any insurance or warranty on Owner's behalf. Owner shall cooperate with Seller, at no out-of-pocket cost to Owner, with respect to such claim. To the extent permitted by Owner's insurance, Owner agrees to look only to Owner's insurance coverage for covered claims and to waive any right of subrogation to the extent of such insurance.
- 3.4 **DISCLAIMER OF IMPLIED WARRANTIES.** EXCEPT FOR THIS WARRANTY, SELLER DISCLAIMS ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO, THAT THE HOME WAS DESIGNED AND CONSTRUCTED IN A REASONABLY WORKMANLIKE MANNER, FITNESS FOR A PARTICULAR PURPOSE, AND MERCHANTABILITY.

OWNER'S INITIALS

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- 3.5 **LIMITATION OF AVAILABLE REMEDIES.** OWNER AGREES THAT THE SOLE AND EXCLUSIVE REMEDIES FOR THE BREACH OF THIS WARRANTY SHALL BE TO REPAIR OR REPLACE THE COMPONENT. OWNER OTHERWISE AGREES TO ASSUME ALL RISKS ARISING FROM A BREACH OF WARRANTY, INCLUDING BUT NOT LIMITED TO ALL ECONOMIC, CONSEQUENTIAL AND EMOTIONAL DISTRESS DAMAGES. EXCEPT TO REPAIR OR REPLACE THE COMPONENT, SELLER SHALL NOT OTHERWISE BE LIABLE FOR ANY DAMAGE FOR BREACH OF WARRANTY. BY INITIALING BELOW, OWNER REPRESENTS THAT OWNER UNDERSTANDS THAT REPAIR OR REPLACEMENT UNDER THIS WARRANTY ARE EXPRESSLY CONDITIONED UPON SELLER OR ITS AUTHORIZED AGENT, BEING GRANTED A REASONABLE OPPORTUNITY TO REPAIR OR REPLACE SUCH COMPONENT. OWNER AGREES THAT SELLER, OR ITS AUTHORIZED AGENTS, AND NOT OWNER, SHALL DETERMINE THE MATERIAL AND METHODS TO BE USED IN EFFECTING SUCH REPAIR OR REPLACEMENT.

OWNER'S INITIALS

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**ARTICLE 4  
EXCLUSIONS**

The following are not covered by this Warranty:

- 4.1 **Wear and Tear.** Damage to the Components due to ordinary wear and tear.
- 4.2 **Owner's Failure to Properly Maintain.** Any Deficiency, loss or damage caused by lack of reasonable care and maintenance, failure to follow a manufacturer's or Seller's maintenance schedule, recommendations or commonly accepted Owner maintenance obligations. Seller has provided a description and list of suggested Owner's care and maintenance items and procedures in the Homeowner Maintenance Manual and a schedule for such maintenance. From time to time, Seller may perform a maintenance task for the benefit of Owner at no charge; however, performing a task on one or more occasions does not imply or require that Seller will perform a similar task at a later date, nor shall such performance be deemed to extend the Warranty Period.
- 4.3 **Casualties or Unforeseen Acts of Nature.** Any Deficiency, loss or damage caused by Unforeseen Acts of Nature. casualties normally covered by homeowner's insurance, or any other cause not under the control of Seller such as fire, smoke, explosion, water escape, fluctuations in water pressure, flood, insects, and falling trees. Damage of this sort may be covered by your homeowner's insurance. You should contact your insurance carrier within 24 hours of the occurrence of any such damage.

- 4.4 **Abuse of Residence.** Damage caused either by the misuse, abuse, neglect or the use of the Residence in a manner which was not intended.
- 4.5 **Materials Furnished by Owner.** Any Deficiency caused by materials furnished or work done by or at the request of Owner, including any work done by anyone other than Seller or the employees, agents or subcontractors expressly selected by Seller.
- 4.6 **Variations in Natural Materials.** Variations in natural materials, such as stone, marble, wood grain and color of stained wood used in cabinets, paneling, siding, doors and wood trim. These variations are inherent characteristics of natural materials and are not a Deficiency.
- 4.7 **Failure to Give Timely Notice.** Any Deficiency, loss or damage caused or made worse by Owner's failure to timely notify Seller of any Deficiency.
- 4.8 **Failure to Mitigate Damages.** Any Deficiency, loss or damage caused or made worse by Owner's failure to minimize or prevent damages in a timely manner.
- 4.9 **Refusal to Allow Repair.** Any Deficiency, loss or damage caused by the Owner's failure to allow reasonable and timely access for inspections and repairs.
- 4.10 **Owner or Third-Party Negligence.** Any Deficiency, loss or damage caused or made worse by the negligence of Owner (or Owner's agent, employee, subcontractor, independent contractor, or consultant) or a third party.
- 4.11 **Successful Repair.** Any Deficiency, to the extent that such Deficiency has been successfully repaired or corrected.
- 4.12 **Released Violation.** Any Deficiency, for which liability has been released by Owner pursuant to a release agreement with Seller, Seller, a manufacturer or any other third party.
- 4.13 **Warranty Period.** Any Deficiency that occurs after the Warranty Period.
- 4.14 **Statutory Claims.** Any claims for Deficiencies, loss or damage governed by California Civil Code Sections 895 through 897 and Sections 910 through 938, as may be hereafter amended.

## ARTICLE 5 PROCEDURES FOR FILING A WARRANTY CLAIM

- 5.1 **How to Request Warranty Service.** To assure quality, and to allow Seller to maintain a complete file on your home, all requests for service under this Warranty must be submitted in writing to Seller. Please use a copy of the Customer Service Request form which is attached to this Warranty or you may submit your request online at our internet website ([www.cornerstonecommunities.com](http://www.cornerstonecommunities.com)).

Customer Service Request Forms can be mailed to:

Cornerstone Communities LLC  
Attn: Customer Service Department  
4365 Executive Drive, Suite 600  
San Diego, CA 92121

or telefaxed to (858) 410-0260. Please complete the form fully and describe the location and nature of your problem in as much detail as possible. If submitting through our website ([www.cornerstonecommunities.com](http://www.cornerstonecommunities.com)), please follow the instructions and provide all information requested online (click on *Customer Service*, then *Service Request* for the online request form).

**ALL REQUESTS FOR WARRANTY SERVICE MUST BE SUBMITTED WITHIN 30 DAYS AFTER THE DISCOVERY OF A DEFICIENCY, BUT IN NO EVENT LATER THAN THE EXPIRATION OF THE WARRANTY PERIOD.**

- 5.2 **Customer Service Schedule.** Upon receipt of your request, Seller will schedule an appointment to have one of its Customer Service Representatives inspect the problem and determine whether the item is covered by this Warranty. In most cases, Warranty inspection appointments will be scheduled to take place at your home within 10 days of the receipt of the request.

If it is determined that the problem is covered by this Warranty, Seller will attempt to schedule the repair work to take place within the next 30 calendar days. Repair work is generally done Monday through Friday from 7:00 a.m. to 3:00 p.m.

- 5.3 **Time for Corrective Work.** Seller intends to fulfill its obligations for a particular warranty claim for Deficiencies 30 days of its receipt of a written request so long as Seller is given reasonable cooperation by Owner. However, Owner recognizes that a 30 day period for certain covered repairs or replacements may be insufficient and it may be necessary to extend that 30 day period.
- 5.4 **Service Requests Not Covered by Warranty.** If Seller determines that a particular service request is not covered by this Warranty, Seller will provide Owner with a notification describing why the Owner's service request is not covered. Failure to send such a notice shall not be deemed evidence that a service request is a covered Deficiency. If a service request is governed by California Civil Code, Section 895, et seq., the non-adversarial procedures described in the Functionality Standards Addendum to the Agreement will apply to such service request, instead of the procedures set forth in this Article 5.

## ARTICLE 6 GENERAL PROVISIONS

- 6.1 **Applicable Law.** This Warranty is made in the State of California and is to be interpreted and constructed in accordance with the cases and laws of California.
- 6.2 **Interpretation.** Whenever the context requires, the use herein of one gender includes both genders and the singular number includes the plural number.
- 6.3 **Modification.** No modification or change of this Warranty is valid unless it is in writing and signed by Owner and Seller.
- 6.4 **Captions.** Captions are inserted for convenience of reference only and do not define, describe or limit the scope or intent of this Warranty or any provisions hereof.
- 6.5 **Time of the Essence.** Time is of the essence on all matters of any nature arising under this Warranty.
- 6.6 **Severability.** Should any provision or portion of this Warranty be declared invalid or in conflict with any law of the jurisdiction where your Residence is situated, the validity of all other provisions and portions shall remain unaffected and in full force and effect. This Warranty is intended to be a Fit and Finish Warranty under California Civil Code Section 900. To the extent of any conflicts between this Warranty and the requirements of Civil Code Section 900, the requirements of the statute shall control over the terms of this Warranty.

## ARTICLE 7 DISPUTE RESOLUTION

- 7.1 **Arbitration.** All disputes arising under this Warranty will be resolved in accordance with the same procedures for dispute notification and resolution as set forth in the Arbitration Addendum to the Agreement. The statutory non-adversarial procedures applicable to certain construction defect claims under California Civil Code Sections 910 through 938, as hereafter amended, shall not apply to any claims under this Fit and Finish Warranty.

NOTE: SELLER'S SALES STAFF DOES NOT HAVE RESPONSIBILITY FOR, NOR ARE THEY QUALIFIED TO MAKE, JUDGMENTS REGARDING SERVICE. ALL SUCH COMMITMENTS MUST BE IN WRITING AND MUST COME FROM SELLER'S CUSTOMER SERVICE DEPARTMENT. SELLER IS VERY PROUD OF ITS SERVICE AND TRUST YOU WILL FIND OUR POLICY TO BE FAIR TO ALL CONCERNED. PROPER SERVICE AND A CONTINUING PROGRAM OF OWNER MAINTENANCE WILL KEEP YOUR PROPERTY IN GOOD CONDITION BOTH FOR YOUR OWN COMFORT AND TO MAXIMIZE ITS USEFULNESS AND DURABILITY.

BY SIGNING BELOW, BUYER ACKNOWLEDGES AND AGREES THAT BUYER HAS RECEIVED A COPY OF THIS FIT AND FINISH WARRANTY BEFORE SIGNING THE REAL ESTATE PURCHASE AGREEMENT, JOINT ESCROW INSTRUCTIONS AND RECEIPT FOR DEPOSIT AND THAT BUYER HAS HAD THE OPPORTUNITY TO READ AND HAS READ AND UNDERSTOOD THE SCOPE OF, AND THE TERMS, CONDITIONS, EXCEPTIONS AND EXCLUSIONS CONTAINED IN THIS FIT AND FINISH WARRANTY. THIS FIT AND FINISH WARRANTY IS THE ONLY WARRANTY, EXPRESS OR IMPLIED, WHICH IS APPLICABLE TO THE PROPERTY BEING PURCHASED BY BUYER.

\_\_\_\_\_  
BUYER'S SIGNATURE

\_\_\_\_\_  
DATE

\_\_\_\_\_  
BUYER'S SIGNATURE

\_\_\_\_\_  
DATE

PROJECT NAME	TRACT NO.	LOT/UNIT NO.
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## Interior

Familiarity with the basic practices needed for good home management and maintenance is essential. Minutes spent on minor care, repairs, and adjustments can eliminate many future problems.

For easy reference, we have assembled helpful tips and information that you need to know to keep your new home functioning smoothly.

Manufactured products are items built entirely off-site. These include your appliances. The maintenance requirements for these are found in the manufacturer's documentation that came with your new home, and may be included at the back of this book. Always check the manufacturer's information and if there is a conflict with this manual, follow the manufacturer's recommendations.

## APPLIANCES

Before operating any of the appliances in your new home, be sure to read the manufacturer's documentation for proper operating instructions and maintenance tips. When cleaning any appliance, be careful *not* to use abrasive, caustic or other strong cleaners that may harm the stainless or enamel finishes and wear away the surface lettering on controls.

### Dishwasher

Refer to your Owner's Manual for proper placement of dishes and the recommended water temperature for optimum cleaning. Use only detergents made specifically for use in automatic dishwashers. Never use any soap product or foaming detergents for commercial dishwashers as they may damage your machine. Water conditions vary widely from area to area, so you may have to experiment with different detergents until you find the one that works best for you. Use one brand for at least a week to allow it to "condition" your dishes.

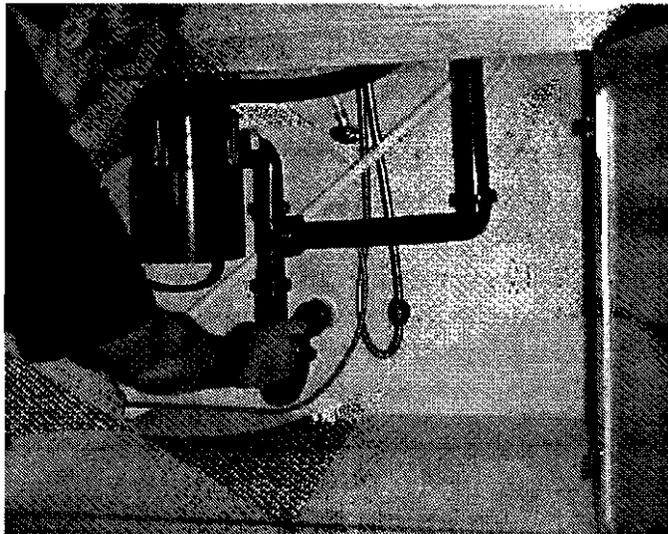


#### What the Experts Say...

- **Protect Your Cabinets.** Take care not to open the dishwasher while it is still steamy, as this can damage the finish on your cabinets over time.
- **Empty the Disposal.** Your dishwasher and garbage disposal use the same drain. Therefore, it is important that the garbage disposal be empty before the dishwasher is operated in order to prevent overflowing the kitchen sink.

## Garbage Disposal

Garbage disposals are permanently lubricated and self-cleaning. Use a steady flow of cold water and allow the unit to run long enough to do a thorough job of pulverizing the waste and flushing it through.



### What the Experts Say...

- **Check for Leaks.** Regularly check under the sink for leaks and external dampness. If there is a leak present, use a pan to catch any water drips until the leak can be repaired.
- **Tighten Pipes.** Hand tighten pipes only, do not use tools.
- **Use Cold Water.** Do not use hot water to flush waste, especially grease, down the garbage disposal. Hot water melts the grease which later cools and solidifies, coating your drain pipe with grease.

### **If your disposal stops while you are using it, follow these steps:**

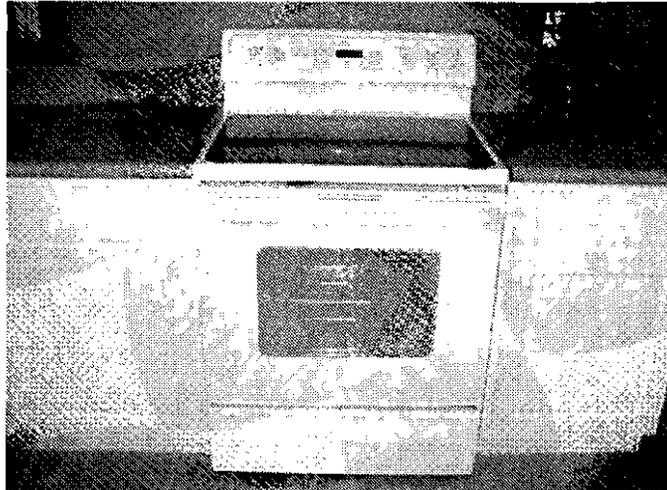
1. Turn the disposal off and unplug the unit under the sink.
2. Remove all waste from the disposal.
3. Wait one minute before pushing the red reset button located on or near the bottom of the disposal. Refer to the manufacturer's documentation for location of reset button.
4. Check the circuit breaker and reset, if necessary.

5. Plug the unit back in and turn the disposal switch to ON. If you hear a humming noise but the blades are not turning, turn off the switch and unplug the unit.
6. At the time of your New Home Orientation, you will be shown a disposal hex key that fits into a slot in the center of the bottom side of the disposal. Insert the key in the slot and turn back and forth; this should free the blades of any foreign objects.
7. Plug the unit back in. Turn on the disposal switch. If the disposal fails to operate, call a qualified plumber for service. A jammed disposal is not covered under your Fit and Finish Home Warranty.

**Oven, Range and Range Hood**

Your range, range hood, and oven require periodic cleaning and maintenance to keep them in top condition. If your oven is self-cleaning or continuous-cleaning, please follow the manufacturer’s instructions for cleaning.

Some ranges come with an exhaust fan that is located under the range hood. Proper care and cleaning of the exhaust fan will help keep your kitchen cleaner and can help control indoor humidity. They have removable filters and fan blades that require periodic cleaning.



**What the Experts Say...**

- **Self-Cleaning Feature.** When using the self-cleaning feature on the oven, please remember that chrome discolors in this cycle. For this reason, you should remove the broiler pan and chrome racks from the oven during cleaning.

**Recommended Maintenance**

Maintenance	Frequency
Clean the range and oven surfaces and cooking areas.	Regularly, after each use
Clean the top and underside of the hood, along with the filter screen, with a damp, sudsy cloth.	Monthly
Clean the exhaust fan blades. (Always unplug the unit before servicing.)	Periodically

**Effects of Deferred Maintenance**

Failure to clean your range, oven, and range hood will lead to a buildup of residue that becomes increasingly difficult to remove.

## CABINETS AND COUNTERTOPS

### Cabinets

Cabinets are the built-in furniture in your kitchen and bath areas. They require the same type of maintenance as the other furniture in your home.



#### What the Experts Say...

- **Protect Wood from Moisture and Heat.** Do not leave damp cloths, sponges, or wet containers on surfaces or shelves. Avoid placing heat and steam-producing appliances in locations where they will affect nearby cabinet surfaces. Don't open your dishwasher repeatedly when still steamy, and don't use electric coffee makers and teapots directly under upper cabinets. Laminate-covered cabinet doors and shelves are subject to moisture intrusion at seams that can cause them to separate.
- **Clean Gently.** Use a damp cloth or mild soap, if necessary. Do not use abrasive, caustic, or ammonia-based cleaners. See the discussion on countertops in this manual, as the countertops may require cleaners that should not be used on the cabinets. Natural wood surfaces can be renewed with a furniture cream or lemon oil, but avoid paste wax or spray wax.
- **Adjust Your Cabinet Hardware.** This will help avoid damage to the cabinets from misalignment or degrading from loose fasteners. Make sure loose screws are tightened, and hinges or drawer guides are kept clean and lubricated. Certain hinge types and drawer guides incorporate adjustment screws that may need tightening or repositioning over time.

- **Treat the Breadboard.** If your kitchen counters include a natural wood breadboard, it has not been treated. Protect with mineral oil, and reapply as needed.
- **Don't Load to the Top.** Be careful not to load upper cabinet shelves to the top. They have been designed to hold a reasonable number of dishes, but should not be loaded to the top.

**Recommended Maintenance**

Maintenance	Frequency
Lubricate cabinet hinges with an oil-based lubricant. Remove excess oil with a dry paper towel.	When you hear squeaking or notice the door does not move freely
Polish cabinet surfaces with furniture polish or lemon oil.	No more than once a month and not less than once per year
Tighten hardware and check alignment.	As needed or twice per year
Cover minor scratches with a putty stick from your local store.	As needed

**Effects of Deferred Maintenance**

Failure to properly maintain cabinets may result in shortened life and a loss of appeal.

## Exterior

This section outlines how to maintain the exterior of your home and provides recommendations for your exterior home inspection. If you belong to a Homeowner's Association, refer to your CC&R's for exterior finish restrictions when repainting, refinishing, or making additions to the exterior of your home.

### CAULKING AND SEALANT

The caulking and sealant are the materials and methods of filling the small crevices, holes, separations, and joints between similar and different materials with an elastic compound. These openings typically cannot be sealed by any other means to prevent the passage or penetration of wind, rain, water and dust.



#### What the Experts Say...

- **Expansion Joints.** Do not seal expansion joints as these are used to accommodate natural shifting in your house. Take note of what was caulked or sealed or not as part of the original construction, or ask our Warranty Service Department. In addition to expansion joints, areas such as window sill weep holes and exterior wall base screeds are intended to remain clear for movement or drainage.
- **Proper Preparation.** As with repainting, caulking and sealing is only as effective as its preparation.



#### Types of exterior sealants:

- **Polyurethane** sealant is the best choice for stucco, trim, rough concrete and wood siding joints, and is paintable. It is sometimes referred to as a sash and trim sealant.
- **Latex or butyl** sealant is less expensive and a lower grade, often referred to as "painter's caulk," and is more appropriate for interior and exterior non-critical "hole-filling" before painting.

#### Recommended Maintenance

Maintenance	Frequency
Check for cracking or incompletely adhered caulking and sealant, and repair or reapply as needed. Common areas for this maintenance are around the light fixtures and windows.	Annually

<b>Maintenance</b>	<b>Frequency</b>
Use a primer or cleaner where required as recommended by sealant manufacturer.	When recaulking or resealing

**Effects of Deferred Maintenance**

Failure to provide the maintenance required will result in water entering your home and likely causing damage.

## DECKS, SIDING & STUCCO

### Decks

Decks provide above-ground private patios or upper floor entry porches, and offer the additional benefit of an outdoor living area. You should be aware that your deck also serves as the roof protecting the structure that supports it, including any interior living or utility space that is below.



### What the Experts Say...

- **Avoid Heavy or High-Impact Traffic or Use.** Your deck surface is part of a waterproof assembly, and may incorporate an exposed type waterproof coating. Heavy or high-impact use may compromise the waterproof coating.
- **BBQ Carefully.** Exercise caution when using a BBQ with hot coals. Don't allow the hot surfaces of the BBQ to come in contact with the deck surface, walls or railings.
- **Water Conservatively.** Use saucers or pot "feet" under plants and heavy pots and water carefully, only to the degree necessary for plants.

- **Don't Install Outdoor Carpeting.** Many deck surfaces may be damaged by the installation of outdoor carpeting or floor coverings, which retain water or react with the deck coatings that would otherwise be allowed to dry. Coverings or other deck furnishings should also be used with care not to block or restrict drainage of the deck surface at area drains, scuppers or open edges.
- **Don't Puncture the Walls.** Avoid installing any fixtures, hangers or other accessories in the walls surrounding the deck. Even if the deck is covered, wind-blown rain may still impact it, and surfaces need to be weathertight like any other exterior area of your home.
- **Maintain the Wood.** If your deck construction has open wood decking, maintain the wood as you maintain the exterior wood or siding; maintain any adjoining flashing of the supporting framing as you care for other flashing or exterior wall openings and fixtures.
- **Contract a Professional.** Repairs of deck surfacing and flashing should be handled by a deck waterproofing contractor.

#### Recommended Maintenance

Maintenance	Frequency
Keep the deck clean and free of debris.	Regularly, consistent with other interior housework
Inspect the deck for proper drainage.	Seasonally, or with any wet cleaning or watering
Inspect any exposed flashings at the deck perimeter, railings, and adjoining doorways to ensure sealant at joints and laps is intact.	Annually
Check deck surfacing for any splitting, cracking or deterioration of the coating. Check for staining of interior or exterior finishes at or adjoining the underside of the deck that might indicate leaking of the deck assembly.	Annually and after major storms

#### Effects of Deferred Maintenance

Because of the highly visible nature of the deck and its structural importance, regular preventive maintenance and thoughtful use is essential in preventing early deterioration.

## Exterior Walls

This section describes the preventive maintenance necessary to keep the exterior surfaces of your home weathertight and looking like new.



### What the Experts Say...

- **Keep an Eye on Water.** Although your home has been designed and built to withstand normal weather, keep concentrated water such as roof-edge drainage from dripping or flowing onto walls and ledges, thus avoiding leaks, finish deterioration, and staining that often accompanies dirt carried down with roof runoff. Control irrigation overspray.
- **Maintain Proper Drainage.** Make sure gutters and downspouts are clear and ground surfaces are properly sloped to keep water away from the base of your home's walls. Prevent splash from roof runoff that can stain and deteriorate your wall finishes.
- **Clean Your Walls.** Keep walls and ledges clear of dust and debris build-up, which can stain exterior finishes. Particularly on north facing walls or other generally shaded surfaces, dirt and moisture can cause mildew growth and harm the finish.
- **Power Wash Carefully.** If you need to power wash the exterior of your home, it should be done with great care, preferably by a professional. Pressure that is too high will strip finishes or damage the materials on your walls. The stream should be kept a safe distance (about 2 ft.) from the face of the wall, always directed in a downward direction, and avoiding openings or other wall penetrations where water may be forced to the inside.
- **Don't Puncture the Surface.** Avoid any added penetrations of your home's exterior walls (attaching new wiring, shade covers, etc.) unless absolutely necessary. Recognize that you cannot hold your builder responsible for damages resulting from after-market changes to your exterior walls. Any additions should be made by a qualified professional and sealed in a manner consistent with the exterior construction of your home.
- **Trim Trees and Plants.** Be sure trees or other plantings are kept off walls and trimmed sufficiently to avoid brushing the finish during windy periods.

## Siding

The siding on your home is installed over building paper. Whether lapped, grooved, or some other feature appearance, siding may be solid wood, a wood composite such as a hardboard, or a cement composite. The trim at corners, openings, or other features may incorporate a similar material or solid wood. It is advisable to determine which of these materials was used in the construction of your home; if it is a manufactured composite, follow the manufacturer's recommendations regarding its use and maintenance.



### What the Experts Say...

- **Caulking and Painting.** Caulking and painting is key to the prevention of moisture damage to siding. Caulking should generally be a polyurethane type sealant. When repainting is necessary, consult the siding manufacturer's recommendations or a paint store regarding preparation and paint products.
- **Solid Wood.** Wood siding typically includes pieces with natural imperfections that may result in some warping or twisting, requiring localized refastening and caulking.
- **Hardboard Materials.** These are durable when well maintained, but are subject to swelling from water exposure at holes or open joints.
- **Protect the Siding.** Prevent water from dripping onto the siding and from splashing up from gutter downspouts.

**Recommended Maintenance**

Maintenance	Frequency
Paint the siding as routine maintenance or as exposure and weathering indicate.	Every 3-5 years or as needed
Inspect for loose siding boards and trim, signs of deterioration, rot, insect damage and/or infestation. Replace rotted or deteriorating boards; refasten loose siding or trim. Seal all new and repaired fasteners.	Annually and after major storms

**Effects of Deferred Maintenance**

Failure to keep water off the siding can cause staining and result in unnecessary expenses to clean the siding. Lack of timely painting will result in reduced curb appeal and premature deterioration of the siding material.

## Stucco

Exterior stucco is a rigid, durable, low-maintenance finish. It is comprised of multiple coats of cement plaster over a waterproof paper underlayment, or possibly a high-performance "one-coat" application over a solid substrate such as foam (for added insulation).



### What the Experts Say...

- **Cracking.** Stucco is a cement product, and has the same properties as concrete. Occasional hairline cracks due to expansion and settling can be expected and are not a defect in workmanship.
- **Discoloration.** If it is an integrally color coated stucco finish, do not be alarmed by wet "blotches" after rain. This is simply normally occurring surface absorption. However, repeated roof runoff or sprinkler overspray can cause discoloration of the stucco.
- **Patching.** Should your stucco finish require minor patching, there are stucco patch products available at home improvement stores. One-coat systems should be patched using an acrylic-modified stucco material, preferably one recommended by the manufacturer. Stucco patching, especially at cracks, can be tricky and difficult to achieve permanence and an acceptable appearance. Significant patches are best performed by a qualified professional who can match and blend texture and color, incorporating a fog coat to the area.

- **Integral Color Coats.** If your home has an integral color coat, the color is infused into the stucco, and painting the primary house color is unnecessary. As the surface weathers, you may choose to have the stucco re-fogged. This process is best left to the professionals.
- **Protect the Stucco.** As with all exterior walls, prevent water from dripping onto the stucco and from splashing up from gutter downspouts.

**Recommended Maintenance**

Maintenance	Frequency
Excessively wide stucco cracks or damaged sections of integral color coat stucco are best repaired by professionals. Minor repair in areas which are covered by paint might be attempted using products locally available.	As needed
Re-fog the stucco if needed.	Every 3-5 years

**Effects of Deferred Maintenance**

Failure to keep water off the stucco can cause discoloration which would require applying a new fog coat to the stucco. Water penetrating chipped or cracked stucco can damage walls.

## SCREED & FOUNDATION

The area at the base of the exterior walls of your home deserves special attention and preventive maintenance to protect your home from both water and pest damage. Whether your home has a stucco or wood finish, it is important to keep sufficient separation between the base of the stucco or wood siding and the ground surface (6 inches) or adjacent paving (2 inches).



Stucco wall finish is terminated with a metal edge strip called a “screed,” and is typically placed at or just below the bottom of the wood sill plate that is placed on the top of the concrete slab or foundation wall. In addition to maintaining the code-required separation, it is important to avoid covering or sealing over the screed to allow the stucco and underlayment wall finish to “weep” (drain) any accumulated moisture in the wall finish.

Similarly, the base of siding or wood trim that terminates the siding must be kept clear to allow for weeping as well as protecting siding from deterioration. In addition to separation from the wall finish, the grade or paving adjacent to the wall should slope away from the wall.

Refer to the Drainage and Grading section in the Landscaping chapter of this manual for additional guidance.



### What the Experts Say...

- **Additions.** Never add paving, planter areas, or additions to the wall finish that reduce or obscure this separation!
- **Drainage.** Avoid irrigation or roof-edge splash that will wet the weep or base of siding. It is vital to maintain the drainage away from the house.

**Recommended Maintenance**

<b>Maintenance</b>	<b>Frequency</b>
Inspect the base of wall area to ensure it is clear of debris, etc.	Annually
In areas subject to termite infestation, inspect the base of the wall for termite 'tubes' between the grade and the base of wood framing. Contact a qualified pest control service if necessary.	Twice per year
Inspect and patch stucco when it is cracked or broken.	Immediately

**Effects of Deferred Maintenance**

Failure to perform recommended maintenance may result in deterioration to your foundation and water intrusion or damage.

## LIGHTING

The area lights around your home are for safety and aesthetics. They may be controlled by photo cells mounted on the side of your house or on the light unit itself. Your lighting may also be controlled by wall switches located on your home.



### What the Experts Say...

- **Use the Correct Bulbs.** Do not exceed the bulb wattage recommended for the fixture. The heat from confined high wattage bulbs can damage the fixture encasement. Use exterior light bulbs for exterior fixtures and wet location light bulbs appropriately.
- **Keep an Eye on Water.** Keep water off the unit as much as possible. Ensure that roof drainage does not occur on or around the fixtures.

### Recommended Maintenance

Maintenance	Frequency
Check for and replace burned out bulbs.	Monthly, or as needed
Clean the encasement so light can shine at full illumination.	Quarterly
Ensure that mounting screws and plates are tight and wall plate is fully against the exterior wall or soffit.	Quarterly

**Effects of Deferred Maintenance**

Failure to provide the maintenance required may cause danger if proper illumination is not maintained. Water and lack of cleaning will diminish the attractiveness and function of this feature.

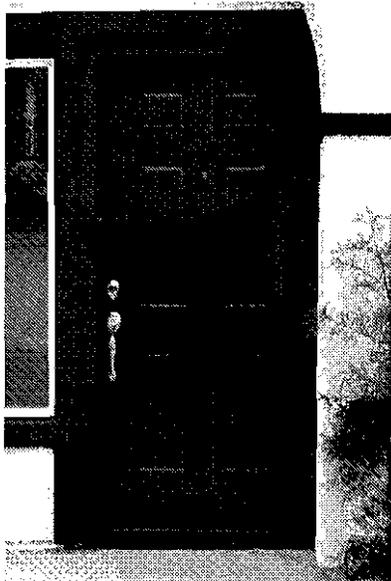
## OPENINGS

This section explains the maintenance needed for openings on your home such as doors, windows, vents, etc., in order to maintain the weathertightness of your home and keep them looking their best.

### Exterior Doors

The exterior doors in your home may encompass a variety of door types, materials, and finishes to complement your home's entry, openings to the yard or decks, and utility areas. Their exposure to weather and constant usage require your periodic attention.

It is important that you understand and monitor the operation and condition of your doors, including their hardware, frames and weather seals to insure the security and weather protection of the interior of your home.



#### What the Experts Say...

- **Refinishing.** When door refinishing or repainting is necessary, be sure to include all the edges of doors - these surfaces are frequently overlooked.
- **Additions.** If you choose to add alarms or additional security devices, take care not to compromise either the operation or weathertightness of the door and frame.
- **Clean Gently.** Use mild household cleaners on your doors and never use abrasive chemicals on the doors or hardware. Consult a professional for specific products and applications to help extend the life of your door as needed.

- **Protect from Water.** Moisture and sun are the major enemies of your door, so take care not to wet or hose down doors. Make sure you direct sprinklers away from your doors.

**Entry doors** may be a traditional solid wood panel type, or durable and decorative metal-clad construction.

- Panel doors require particular attention to keeping water off the face to avoid warping and splitting of the wood components, plus attention to the finish that protects the wood joinery. You may not be able to control the weather, but you can adjust sprinklers.
- Metal-clad doors have a baked-on color finish coating that will last many years if regularly kept clean and dry. Be aware that sharp impact to the door face can result in denting.
- It is important to note how well the doors keep out water in heavier, windy storms, so that weather-strips, thresholds, and adjoining sealants can be adjusted or repaired as necessary.
- If you have lacquered, bright-finished brass hardware or trim, take care not to use an abrasive cleanser.

**Sliding glass doors** may need to be realigned and adjusted over time.

- The latches, locks and rollers of sliding glass doors require your attention if the door seems out of alignment, slides poorly, or is difficult to latch. Usually cleaning and adjustment of built-in, adjustable hardware will correct these problems, and will extend the life of your door.
- Keep the track and its drainage slots clear of yard debris and windblown sand as part of your regular housekeeping.
- At least semiannually, remove the snap-in closure over a portion of the sill track to clear dirt accumulated there.
- Occasionally apply silicone spray to the sill to aid smooth sliding.

**French doors** and their hardware require the same maintenance as entry doors, with the added caution that the glazed panels and their seals or putty need to be monitored and resealed if necessary.

**Recommended Maintenance**

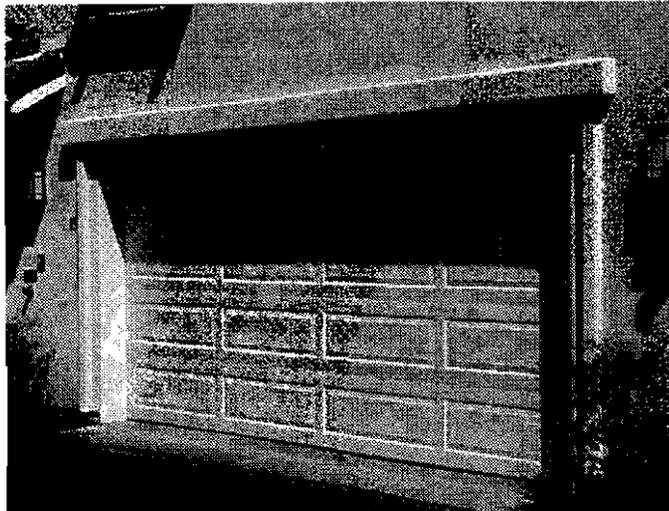
Maintenance	Frequency
Check door finish.	Twice per year
Refinish exterior of wood faced doors.	Every 2-3 years Doors facing south may need more frequent refinishing
Use a spray silicone lubricant to keep your sliding hardware functioning smoothly and reduce possible friction that might cause excessive wear.	Twice per year
When vacuuming, run the nozzle along the tracks of all sliding doors. This will help remove debris and help prevent damage to rollers. This will also allow for proper drainage during rains.	Monthly
Inspect weather stripping to ensure it forms a tight seal against the door surface when the door is shut.	Quarterly, especially in hot and cold seasons

**Effects of Deferred Maintenance**

Failure to maintain the doors will result in improper functioning and shorter life.

**Garage Doors**

Garage doors are important for the security of your home and it is important to keep them in good working condition. As with all of the other products installed in your home, become familiar with the manufacturer’s recommendations for using and caring for the door and opener.



**What the Experts Say...**

- **Don't Leave Open in the Rain.** Never leave an overhead garage door open in the rain. Rain can saturate and distort the door and door frame.
- **Prevent Obstructions.** Take care to avoid any interior storage that might obstruct or damage tracks and guide. Do not block the light beam at base of door or place items in line with the door base that can interrupt closing of door. If the garage door will not close, check the safety light beam and remove any obstruction. Realign if necessary.

**Recommended Maintenance**

Maintenance	Frequency
Inspect the finish on the doors.	Annually
Check for any loose track or spring mounting bolts or screws, as these can affect the door alignment and operation.	Quarterly
Rollup garage doors require periodic lubrication of hinges and roller assemblies.	Annually

Maintenance	Frequency
Check for rust and deterioration of door counterbalance springs. A water-displacement spray will help control rust. <b>CAUTION:</b> these are typically under tension, and repair or replacement should only be done by a professional service person.	Annually
Clean doors with mild, nonabrasive cleaner.	As needed
Refinish or repaint the doors if necessary. South facing doors may need more frequent maintenance. Note that some door panels may have a manufactured coating which does not require paint maintenance.	Every 3-5 years



Disconnect the door and manually check balance; it should open and close with minimal effort

**Effects of Deferred Maintenance**

Deferred maintenance will detract from the appearance of your home, wear out the working parts and surfaces of your doors, and increase energy bills.

**Vents**

There are several types of vents found in various locations on the exterior of your home: dryer exhaust, attic ventilation, kitchen and bathroom exhausts, etc. All are important for the proper ventilation of your home. Many vents have a “flapper” under the hood to prevent pest entry and cold or hot outside air "backdraft."



Dryer vent



**What the Experts Say...**

- **Dryer Vents.** Be especially diligent in your dryer vent maintenance, since both humidity and lint buildup can combine to significantly lengthen drying time (and energy usage) or potential for fire in duct. It is also helpful to keep the dryer's lint trap clean and fully in place.
- **Avoid Obstructions.** Take care not to obstruct vents with shrubs or anything left leaning against the side of the house.

**Recommended Maintenance**

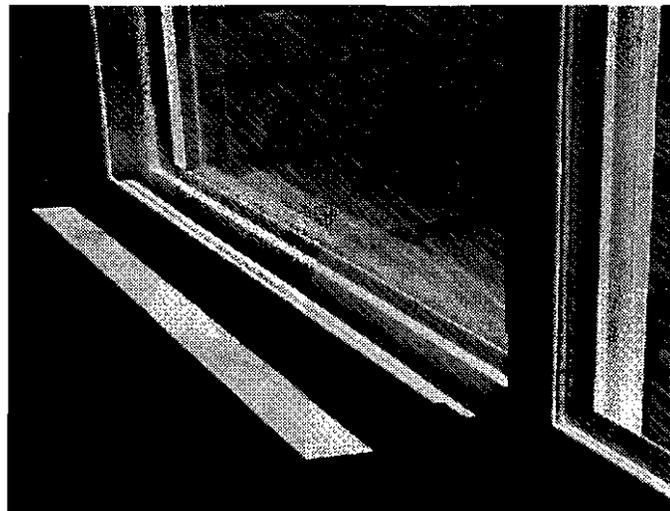
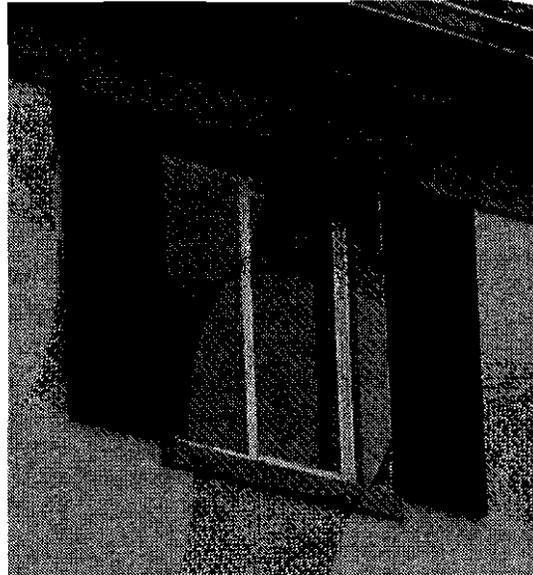
Maintenance	Frequency
Check the dryer vent for strong air flow when the dryer is running.	Quarterly
Check to ensure the vent flapper hinges work smoothly and that the area under the hood is clean.	Quarterly
If metal, paint the vents to prevent rust.	Every 3-5 years, with other painting

**Effects of Deferred Maintenance**

Failure to maintain may result in the vents rusting or the dryer vent door sticking. A permanently closed vent may cause a fire or interior damage due to excess humidity. A permanently open vent can allow birds or rats to nest.

## Windows

Windows are an important component in your home's energy efficiency, beauty, and security. Windows are typically made of wood, vinyl or aluminum, and will last longer with regular inspection and care.



### What the Experts Say...

- **Don't Seal Weep Holes.** Window frames are designed to collect water during a rainstorm and drain it out at the bottom through weep holes. It is normal to find some water within the inside track during heavy, windblown rain. **Do not caulk the weep holes when caulking around the window!**

- **Use Gentle Cleansers.** Do not use hydrocarbon cleaners such as gasoline, kerosene, or oil to clean vinyl windows and frames. Avoid using abrasive cleansers and scrubbers.

### Recommended Maintenance

Maintenance	Frequency
Caulk around the window to keep water out. Take care not to seal weep holes!	Annually, before the rainy season
Clean window tracks of any debris to keep the weep holes free of blockage to prevent water from leaking into your home.	With routine housecleaning Always check before rainy season
Lubricate window tracks with silicone or paraffin sprays. Avoid oil, as it attracts dust and lint.	Twice per year, or when you notice the window "sticking"
To enhance appearance and slow weathering, clean window frames with water and mild soap.	Twice per year

### Effects of Deferred Maintenance

Deferred maintenance will result in diminished appearance, more difficult opening and closing of windows, and possible water damage to the surrounding areas.

## ROOFING SYSTEM

Since your roof is overhead, not easily accessible and tends to be “out of sight, out of mind,” it is particularly necessary to develop and follow a strategy and program for its inspection and related maintenance.

The roof is the most exposed part of your house, so roofing materials have been carefully selected that are not only attractive but durable. Extreme exposure to sun, rain, wind and accumulated wind-blown dust and debris constantly impacts your home’s roof and can significantly shorten its life and result in costly damages to your home if you do not monitor and maintain it properly.



### Inspections

Nothing is more critical to the long-term performance of your roof than following a program of regular inspections and proper maintenance.

Roofing manufacturers strongly advise homeowners to **stay off the roof**. When access to the roof is necessary, proper use of ladders and roof safety measures must be applied. If your home’s design incorporates a particularly steep roof pitch, it may limit your access by any normal method. Consequently, it is advisable that you develop an alternative method to inspect your roof, using binoculars or careful ladder access to check the roof from the edges.

You may wisely choose to use professional services for at least a portion of your roof inspection needs, as well as for repair and maintenance tasks. Repairs to the roofing assembly should always be done by a licensed, qualified roofer.

### Roofing Terms and Definitions

**Flashing** includes the assemblies, usually sheet metal, that terminate the roof against walls, chimneys and parapets, and provide collars and transitions around pipes, vents, or other roof penetrations. It typically has laps and junctures that need to remain closed to weather and may include sealant as part of the assembly. **Damaged flashing contributes to three-fourths of all roofing problems. Pay special attention to this important component especially at patios, chimneys, above and below windows, and at corners.**

**Tile roofing** is generally made of concrete, and occasionally of clay. Both are highly susceptible to breakage if walked on, clay even more so. They are installed over water-resistant roofing paper, which acts as a backup to the weather lapped tile. Should tile ever become dislodged or slip, restore it as soon as possible to avoid damage to the underlayment, which deteriorates from prolonged sun and weather exposure. Note that Mission or S-profile tile may trap more debris in confined or valley areas of the roof, and may allow bird nesting opportunities at confined areas.

### Recommended Maintenance

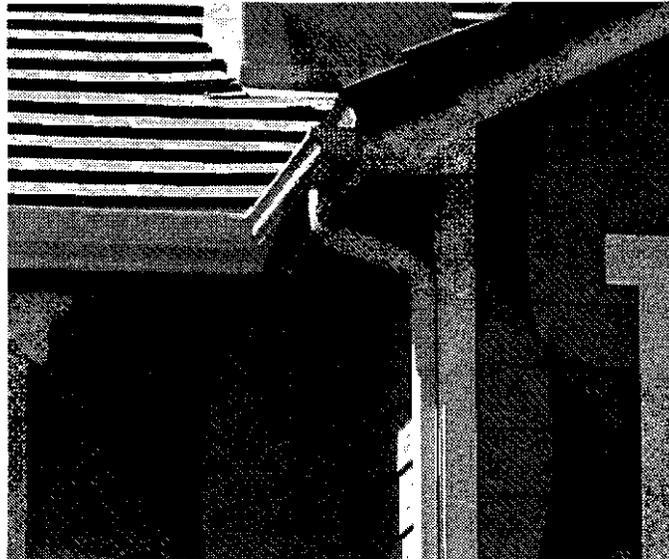
Maintenance	Frequency
Inspect the interior ceiling and attic for roof leaks.	Twice per year and after heavy storms
Inspect the general appearance for debris, drainage, and general condition.	Twice per year and after heavy storms
Inspect for any damage, slipping, or lifting of the roofing and related flashing. Inspect flashing at edges and around pipe collars to ensure laps and seals are in place and unbroken. Repair as needed. Maintaining seals around pipe and vent flashing collars is often the most consistently needed "tune-up."	Annually

### Effects of Deferred Maintenance

Failure to provide the maintenance required will result in greater repair expense and if water penetrates the membrane, as well as possible area related damage.

### Gutters and Downspouts

The gutters and downspouts are designed to collect water from the roof and direct it to a safe drainage pathway at the ground or to a subsurface drain. It may be helpful to observe your gutters during a heavy rain to ensure they are effectively handling the roof runoff.



#### What the Experts Say...

- Inspect for Runoff.** While the roof and gutter system is designed to substantially collect all runoff directly into the gutters and downspouts, concentrated or confined areas of roof runoff (such as at the ends of gutters and roof valleys) may overrun the gutter. Adding an additional diverter made from aluminum may aid in collecting this water and avoiding staining to the walls and fascia.



**Diverters.** Be careful that the added diverter in no way blocks the drainage at the roof edge, creating an additional problem rather than a solution. When it comes to water, pay special attention.

#### Recommended Maintenance

Maintenance	Frequency
Check and clear gutters of all debris. Where adjacent trees or windy conditions have resulted in the build up of leaves, flush gutters and downspouts with a jet nozzle on your hose as necessary. Don't forget to clear dirt and roofing surface granules that may build up in the bottom of the gutter, as they may slow or impede the downspout drainage.	Seasonally, adjusted relative to amount of leaves or local debris present

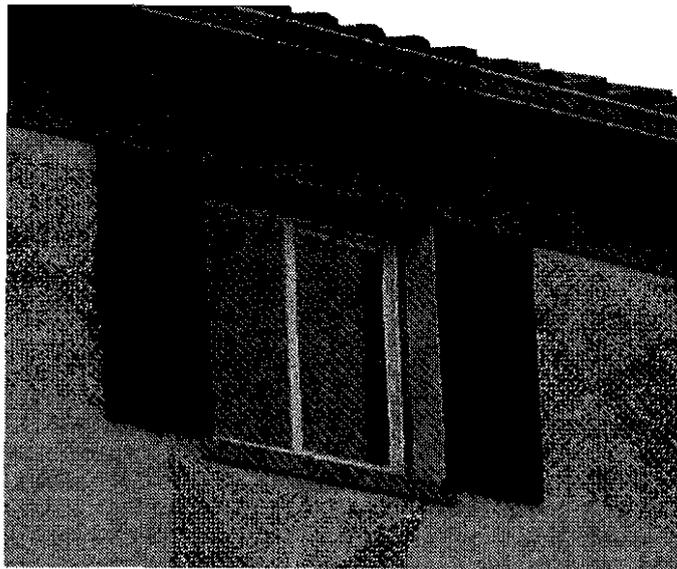
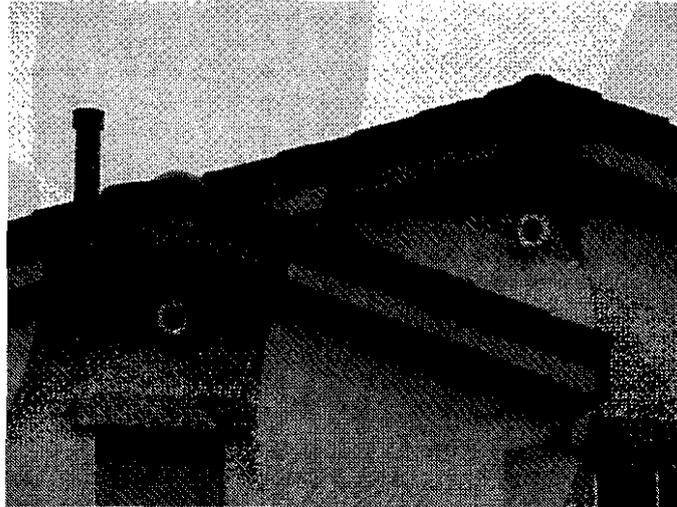
<b>Maintenance</b>	<b>Frequency</b>
Check the fascia boards and adjacent walls for stains indicating leaks or incomplete roof-to-gutter laps. Repair as needed.	Seasonally
Check any seams or joints in the gutter and downspout system to determine if resealing is necessary.	Annually

**Effects of Deferred Maintenance**

Failure to provide the maintenance required may result in broken and leaking gutters. Water damage and staining can result.

## **TRIM AND ACCENTS**

Various materials are used to create the accents on your home. They finish and protect your roof edges, and may be used to accent your windows or doors. It is important that the surfaces be well-sealed and painted at all times.





**What the Experts Say...**

- **Keep Water Off.** Water is the biggest danger to these components. Be sure to follow the maintenance requirements in the gutters and irrigation system sections.
- **Roof Maintenance.** Proper roof maintenance is important for maintaining the life of your wood trim. Maintain flashings, proper roof drainage, and avoid excessive debris accumulation on the roof.

**Recommended Maintenance**

Maintenance	Frequency
Prep and paint the surfaces as exposure and weathering indicate.	Every 2-3 years in the sun Every 4-5 years in the shade
Inspect for chipping, peeling or other signs of finish failure. Pay attention to gaps, separation of trim, and staining or rotting resulting from moisture intrusion. Replace trim that is damaged or rotting.	Annually
Check and caulk where gaps exist.	Annually
Ensure that the shutters and accents are secured to the side of the house.	Annually
Paint the shutters and accents as needed.	Every 3-5 years

**Effects of Deferred Maintenance**

If the paint fails, water may gain access to the surfaces, resulting in damage and higher replacement costs.

## Landscaping

The landscaping around your home plays an important role in the overall beauty of your property and helps prevent erosion. Keeping your landscape in good condition adds to the value of your home and community. Landscaping maintenance is divided into four main categories: Drainage and Irrigation, Hardscape, Plants, and Walls and Fencing.

Proper maintenance of your landscaping components has important consequences for the long-term protection of not only your home and property, but your neighbor's property as well. Neglected or improper maintenance may result in moisture intrusion or erosion.

If you belong to a Homeowner's Association (HOA), refer to your CC&R's to determine what maintenance responsibilities or limitations may apply to your property and areas where your property borders the common area. Planting regulations and hardscape addition rules may be in effect.



### **Landscape changes must not affect drainage.**

Landscape additions that change slopes or grades can affect drainage. Keep water moving away from your house. Many communities are built so that water drains from yard to yard. If you install landscaping or hardscape (patios, walkways or walls) that interfere with this flow, you could create a significant problem and be liable for damage. Always consult an expert when work affects drainage.



### **Report Common Area Problems.**

If your home is in an HOA, report any common area landscaping or irrigation problems to your HOA representative immediately.

## DRAINAGE AND IRRIGATION

### Backflow Preventer

A backflow preventer permanently separates the domestic (potable) water supply from the irrigation system. The backflow unit is a “Reduced Pressure” type and is located near the points of connection (water meters).



### Recommended Maintenance

Maintenance	Frequency
Check for visible leaks and vandalism. Periodic discharge of water from the relief valve is not a problem. This is its intended function.	Monthly
Schedule a licensed inspector to check for leaks.	Usually required annually by local health codes

### Effects of Deferred Maintenance

Failure to inspect and repair backflow units may result in malfunction and affect nearby turf, trees, and other plant life. Ineffective backflow prevention can also result in contamination of the domestic water supply.

## Drainage and Grading

Setting your irrigation system to deliver the proper amount of water is essential. Beyond that, maintaining good drainage will protect your landscape and your house from water damage.

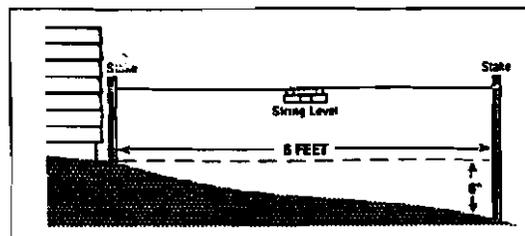
**Water is the #1 potential hazard to your home!** Be sure to keep it sloped away from the home.

Your lot has been graded to facilitate drainage of water to the street or other approved drainage structures. It is essential that you maintain proper grading and drainage to prevent pooling that could affect your foundation slab. Furthermore, you could be liable for any damage from water diverted to your neighbor's property.



### What the Experts Say...

- **Soil.** Keep soil at least six inches below floor level and the base of siding and stucco, and sloped away from house.
- **Drainage.**
  - Provide outlets at drainage flow lines where fences or walls cross them. Use outlets of sufficient size for the flow line on each lot. Remember, if you build a side fence or wall across a swale, your drainage must be kept on your lot.
  - Provide drainage to drainage flow lines at planters and planter areas.
  - If you live in a condominium, avoid blocking any drainage around your unit. Report drainage problems to your HOA representative immediately.



Area drains may be a part of your drainage system, and are often installed around your home to remove excess surface water from the landscape. It is important to keep them free from blockage in order to prevent clogging and flooding.



Remove debris from area drains

**Recommended Maintenance**

Maintenance	Frequency
Inspect drains, inlets and catch basins for blockages. Inspect downspouts carrying water from roof gutters to ensure the drainage is directed to appropriate drains, to prevent water from collecting around the base of the house.	Check at least once a month in dry seasons and weekly in rainy seasons Clear clogged pipes immediately
Inspect surface swales to ensure that they are draining freely to catch basins and/or drain inlets with no blockage or ponding. Maintain a grade of 2%.	At least once a month Any conditions limiting surface drainage should be repaired immediately
Cut groundcover around drain inlets and swales and remove debris.	Quarterly and as needed
Flush inlets, catch basins and lines to keep them free of debris.	At least twice per year

**Effects of Deferred Maintenance**

Blockage of landscaping drains may lead to the collection of water in lower ground areas, which may flood surrounding lawn or plants. Few plants can survive a flooded or overly wet condition for any length of time. Severe flooding can also adversely affect nearby hardscape or structures and contribute to soil erosion.

**Expansive Soils**

Most communities in your area have “expansive” soils, meaning the soil is subject to expansion and contraction due to changes in moisture content. Because of this, over-watering can crack your foundation and damage your home and any exterior improvements you install. Therefore, it is important to carefully monitor watering patterns and make sure drains are installed and working properly.

While foundations and slabs are designed with sufficient strength for a reasonable level of volume change, it is important that you take care to minimize the moisture fluctuations in the soil under and around your house.

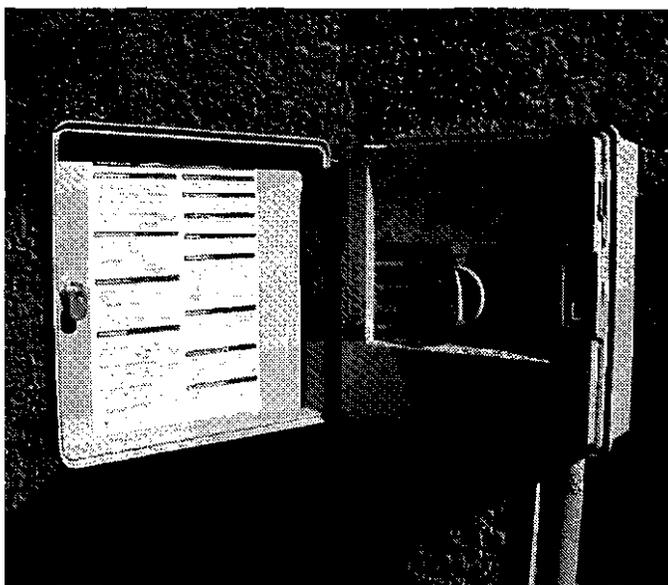
For future exterior alterations and improvements, it is extremely important that you, or your agents or contractors, consult with a professional, licensed soils expert to test the degree of expansiveness and to design improvements accordingly. As the builder, we have no control over the quality of materials, construction procedures and labor used in any improvement you make. Be certain that appropriate design and construction criteria are incorporated and followed.

## Irrigation System and Controller

In order to preserve the reliability of your irrigation system, it is important that a comprehensive maintenance program be implemented and adhered to. The irrigation system encompasses all components involved with distribution of water to the landscaping around your home. When installing additional irrigation equipment, it is important that the new equipment be compatible with the system that may have been installed by the builder.

It is important that you understand the equipment and operation of your irrigation system, and ensure that it is checked regularly by a professional landscape maintenance company.

The irrigation controller is the master control that regulates the irrigation process. The system has been installed using state-of-the-art equipment. However, as with any device, the equipment will not last forever, and components will need to be repaired or replaced periodically.



The irrigation controller maintains the time of day and controls how often the irrigation system disperses water. It turns irrigation valves on and off according to a programmed watering schedule.

Multiple irrigation cycles can be used to allow each watering to properly water the soil. The intention is to reduce runoff and wasted water.

The controller has a battery backup; however, the timing schedule may be lost as a result of a power outage. Changing short-term weather conditions and seasonal changes will require fine-tuning the program for proper watering.

During extended rainy periods, the controller should be shut down until additional water is needed in the landscape areas. The goal is to apply only as much water as the plants need for healthy growth.

#### Recommended Maintenance

Maintenance	Frequency
Inspect controller for moisture damage and corrosion. Check for dead backup batteries, loosened connections, deteriorated weatherproofing or damaged hardware.	Monthly inspections with adjustments, repairs or replacements made immediately
Lightning strikes may affect the system.	Inspect after electrical storms for any adverse effects
Inspect time clock to determine that the scheduled program is working properly, and adjust for proper watering.	Monthly
Reset and adjust each irrigation station run time in response to changing weather conditions and plant needs. Adjust controller based on the actual needs of the plants with allowances for adjustments due to on-site conditions.	Monthly and as needed
Record any changes to clock settings. Always keep a current record of settings.	When changes are made
Reset clock for daylight savings time and after any power failures. Keeping a good battery in the clocks should minimize the need for resetting.	Reset clock twice per year After power failures restore schedule programming
Replace electric time clocks as they fail.	Every 4-5 years or as needed

**Water should be applied only in amounts necessary to meet plant needs, without excess.**

Watering is typically best done in the early morning; during the day it is subject to wasteful evaporation, and evening watering may support plant diseases such as fungus. Avoid watering during windy times if possible. Also, once plants are established, it is generally recommended that watering is more effective when done less often and deeper, if weather and soil conditions allow.

Because weather and growth vary by month, water application needs to be reset on a monthly and seasonal basis and to allow for specific site conditions. Generally, the following amounts of water should be applied to landscaped areas on a weekly basis. Exposure, weather, soil variables, and other factors, which cannot be predicted, will affect these amounts.

<b>Water Guidelines</b>	
Turf Areas – summer	1.5 inches per week
Turf Areas – winter	.75 – 1.0 inches per week
Shrub Areas – summer	.75 - 1.0 inches per week
Shrub Areas – winter	.50 - .75 inches per week



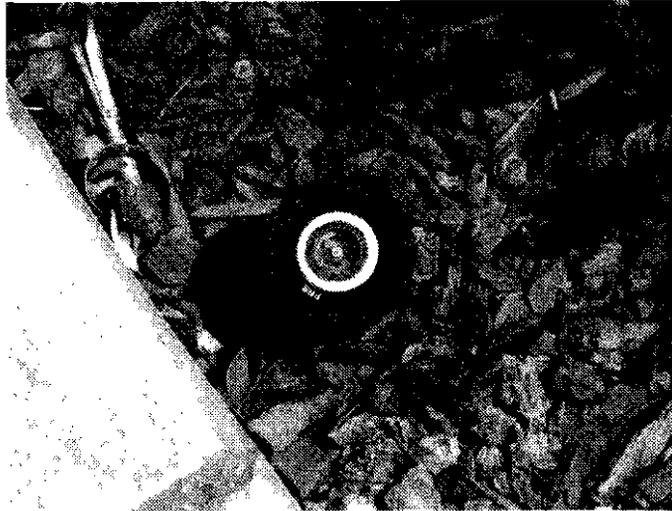
Unusual increases in water bills can be indications of leaks in your irrigation system.

**Effects of Deferred Maintenance**

Failure to inspect the time clock may result in inadequate or over-watering which, even for a short period of time, could be disastrous to surrounding landscaping. Over-watering can cause water accumulation leading to plant death, pavement failures, slippery pavements, and waterproofing problems. Time clocks that are not properly set may also cause watering during inappropriate hours. It is very important that regular inspections be performed to identify any overly wet or dry areas and that corrective measures be taken immediately.

## Sprinkler Heads

Sprinklers disperse water from the irrigation system to the plants. Every attempt has been made to provide double-coverage for all areas irrigated by the sprinkler system. However, because every area is a unique shape, with varying sun, wind, and soil conditions, dry (or wet) spots may develop.



### What the Experts Say...

- **Prevent Overspray.** While the sprinkler patterns have been chosen to keep overspray to a minimum, windy conditions, plant growth, and other factors will sometimes result in isolated overspray or underspray problems. Regular inspections will identify such areas. Make necessary adjustments immediately.
- **Risers.** As shrubs and ground covers grow, it may be necessary to add risers to certain sprinkler heads or cut back shrubbery, so that the spray patterns are not blocked. Inspections identify such areas. Make adjustments immediately. It may be necessary to stake irrigation heads for risers 12" or larger to maintain performance. Heads can start to tilt or sway if long risers are not secured.
- **Repairs.** After any irrigation repair, flush and re-test the piping for proper function and adequate coverage.



**Keep water off structures, streets and hardscape to prevent damage and slipping hazards.**

**Recommended Maintenance**

Maintenance	Frequency
Inspect for broken or improperly adjusted sprinkler heads, clogged or worn nozzles, and gear drives, grit in seals or moving parts, mower or other physical damage, and broken sprinkler lines.	Monthly To assure adequate coverage and prevent overspray, inspect more frequently during dryer, warmer seasons
Ensure appropriate coverage in all areas. Prevent over-watering, and minimize overspray. Use the manual run function of your sprinkler system to check the coverage and flow of your sprinkler heads.	Monthly
Adjust the riser height of sprinklers, taking care not to interfere with pedestrian traffic.	As needed
Monitor the amount of water being applied and correct, if necessary.	Weekly visual inspections and an annual comparison and analysis will determine if the water amounts are appropriate

**Effects of Deferred Maintenance**

Failure to inspect, replace, and adjust sprinkler system components may result in inadequate or surplus water supply, affecting nearby turf, trees, and other plant life. Over-watering will eventually lead to soil erosion, and could harm your house and/or hardscape surfaces.

**Valves**

Valves are the remote control irrigation valves that, in conjunction with the time clocks, regulate the flow of water throughout the system.



**Recommended Maintenance**

Maintenance	Frequency
Manually operate and visually inspect the valves to ensure they are operating properly.	At least once per month
Schedule a thorough inspection for diaphragm or seat wear, sticking solenoids or diaphragm, corrosion of wire connections, clogged screens and orifices, and debris or stones lodged under the valve.	At least once a year Make repairs or replacements should as soon as any malfunction is detected
Inspect quick coupling valves, and ball or gate valves.	At least once per month More thorough inspections annually

**Effects of Deferred Maintenance**

Because the remote control valves control the disbursement of water, repairs that are not attended to could result in long term damage to landscaping in the affected areas.

## HARDSCAPE

The hardscape around your home may include walkways and concrete surfaces.

### Additions

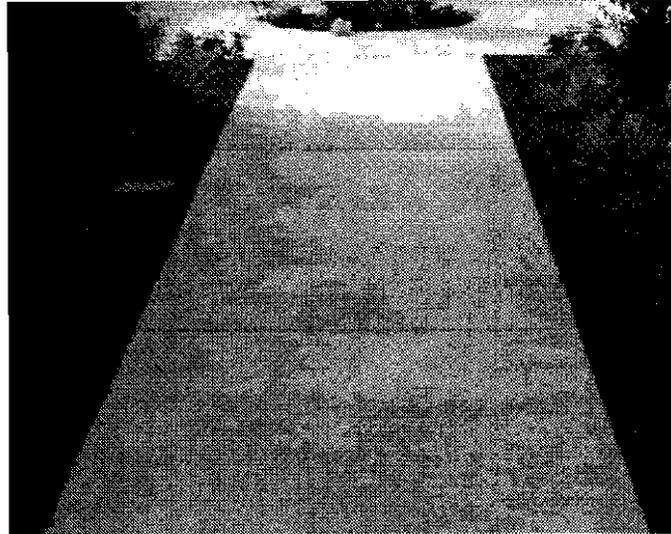
Patios and walkways, if installed by the builder, have been designed to meet the soil conditions and drainage patterns of your lot.

**If you add a patio or walkway as an improvement there are several very important things to remember:**

- **Slope.** Always slope concrete away from house (2% slope: 1 inch drop for every 12 inches of length) to a drain or swale.
- **Drainage.** Provide a drainpipe or other means of drainage when patios or walks cross flow lines. Do not allow water to collect against house or behind walks or planters.
- **Expansion Joints.** Provide expansion/control joints at frequent intervals. Seal expansion joints with flexible caulking compound.
- **Weep Screed Line.** Do not pour patio slab higher than two inches below the house foundation (weep screed line).
- **Hire Professionals.** Contract a professional licensed contractor and soils engineer who is knowledgeable about the soil conditions for your area and can advise you regarding the structural reinforcements necessary for your improvements.
- **Get Necessary Approvals.** Obtain approval and permits from appropriate governmental agencies and your Homeowner's Association's Architectural Review Committee if your committee is governed by an HOA.

**Concrete Surfaces**

The concrete surfaces include driveways, walkways and patios. Walkways are concrete sidewalks leading to your front door and backyard. Walkways with hazards such as lifting, ponding of water, etc. should be promptly repaired.



**What the Experts Say...**

- **Expansion and Settling.** Concrete is a very hard type of material. However, small cracks due to expansion and settling are common. Seal cracks to prevent water penetration that can worsen the crack.
- **Avoid Heavy Loads.** Do not permit heavy equipment, such as concrete trucks or moving vans, to drive on your concrete, as it was not designed for heavy loads.

**Recommended Maintenance**

Maintenance	Frequency
<p>Inspect concrete for chipping, lifting, separating and cracking, which can create a safety hazard resulting in homeowner liability.</p> <p>Determine if the cause of this condition may be related to roots that should be controlled or removed, or a drainage-related concern. Resolve the contributing factors to prevent future problems.</p>	<p>Annually</p>

<b>Maintenance</b>	<b>Frequency</b>
Remove grease/oil spots from driveways with concrete cleaners from your hardware store.	Immediately
Clean walkways to remove debris.	Weekly after mowing or as needed
Hose off walks. Schedule to coincide with mowing or other maintenance occurring in the area.	Quarterly

**Effects of Deferred Maintenance**

Failure to adequately maintain the concrete around your home may create safety hazards. Serious cracks or fissures in walkways that remain unrepaired are a potential liability to you as the homeowner.

## PLANTS

Builder-installed groundcover, turf, trees and shrubs have been selected for their compatibility with each other, with architectural, site, and soil conditions, and are planted from containers, cuttings, etc. They grow at varying rates depending on climatic conditions, maintenance, and a host of other factors. The important thing to keep in mind is that the landscaping is a dynamic, living system and proper care is critical for it to mature successfully. When installing additional plants, it is important that the plants you choose are compatible with existing plants.



### What the Experts Say...

- **Consult a Landscape Architect.** We advise that you consult with a local landscape architect or nursery regarding plants appropriate to local conditions.
- **Choose Plants Wisely.** If yours is a hillside lot, or if it has significant steep banks, selection and maintenance of plants and watering may have important consequences for drainage and erosion control. Keep plants from overgrowing drainage swales.
- **Consider the Soil.** Local soil conditions may affect planting. Check with a local nursery regarding soil conditions commonly found in your area.
- **Be Careful with Chemicals.** Always closely follow the manufacturer's recommendations for any insecticides, garden chemicals, and fertilizers that you use on your property. Some may be toxic, and should be stored away from children and pets. Try minimal, natural controls first, if possible.
- **Adjust Your Maintenance Schedules.** The maintenance needs of your plants may change over time with the seasons and plant growth. Apply these changes to your long-term maintenance plan.

**Shrubs and Vines**

Builder-installed shrubs have been selected for their compatibility with the conditions and other plants on your property. Shrubs will receive the benefit of the fertilizer applied to the groundcovers (if planted in the same bed); generally, no additional fertilizer is needed. However, periodically assess the shrubs' response to the recommended fertilization program and make adjustments as necessary. Identify and implement special fertilization needs.



**What the Experts Say...**

- **Always Use a Trellis.** It is not a good idea to grow vines directly on walls or fences, and never on the side of your house, as weight, water retention or roots may cause damage or prevent structure maintenance. Use a separate trellis that can be lowered, if necessary, for maintenance on the fence or wall behind it.

**Recommended Maintenance**

Maintenance	Frequency
Prune shrubs and plants to prevent them from becoming "rangy" and to contain their size. Prune with care not to "poodle" shrubs.	As needed All trimmings should be promptly removed from the site
Apply insecticides to control infestations (such as aphids or white fly).	Only as required
Apply snail bait to prevent snails from devouring shrubs and plants.	Immediately

Maintenance	Frequency
Fertilize shrubs in conjunction with the fertilizing of ground cover.	Check twice per year for plant stress
Monitor shrubs for signs of nutrient deficiency and treat accordingly.	As needed
Apply chemical controls for fungal, bacterial, and viral infestations.	As symptoms appear
Neatly prune vines and "espaliered" plants and ensure they are securely attached to trellises or latticework.	Monitor and correct continually

### Effects of Deferred Maintenance

Neglect may result in the deterioration of the shrubs around your home, eventually requiring removal, replacement, or drastic pruning and loss of appearance.

**Trees**

As with other plant materials, regular fertilizing of trees is a must. Periodically inspect to evaluate the response to the recommended fertilization program and make adjustments as necessary. Identify and implement special fertilization requirements.

When choosing trees, take into consideration the size of the tree at maturity to ensure that it is appropriate for your intended location. Avoid planting trees in locations where roots or limbs may damage the foundation, paving, walls, etc. Consider any potential impact on neighboring property.



Maintenance	Frequency
Prune to remove dead, diseased or weakened limbs to promote the healthy and symmetric growth of the tree. Remove limbs that may impact your house under windy conditions.	Annually or as needed
Inspect trees to determine whether staking should be added, removed or adjusted to promote growth in the appropriate direction and protect from wind.	Quarterly
Apply fertilizers near the drip line to promote healthy growth.	March and September of each year, or as appropriate for the tree species
Replace trees planted in areas less than 5 feet wide when trunk diameter exceeds 6 inches.	Annual evaluation
Thin or lace.	Annually

Maintenance	Frequency
Apply insecticides to control infestations.	Immediately
Prune roots to prevent potential cracking of sidewalks or driveways. A proportional amount of foliage should be removed at the same time as roots are pruned. <b>Note:</b> Never root prune more than 25% of a tree's surface roots in any one year.	Yearly after 3 years
Check water or breather tubes that may be installed at the tree base to evaluate proper drainage. Remove any standing water from breather tubes.	Monthly

### Effects of Deferred Maintenance

Failure to provide adequate maintenance will eventually lead to deterioration in the health and appearance of your trees. Improper staking or root pruning could result in long-term damage to the adjacent hardscape or structures.

**Turf and Groundcover**

As with the other plants on your property, regular fertilization of turf and groundcover is a must. All areas must be fertilized according to the minimum schedule set forth in irrigation table, found in the Irrigation System section of this chapter. Inspect periodically to evaluate the response to the fertilization schedule and make adjustments as necessary.

Weeds will be a continuous problem, more so during the early stages before plantings become fully established, and to a lesser degree thereafter. All areas should be kept weed-free.



**What the Experts Say...**

- Do not allow water to flow over any slope.
- Control animal burrowing.

**Recommended Maintenance**

Maintenance	Frequency
Mow grass (turf) areas.	Weekly
Gather and dispose of leaves and trash from planting areas.	Weekly
Remove turf, by hand or spraying, from within 12 inches of tree trunks to eliminate potential damage from mowers and string trimmers.	Regularly, as needed
Edge grass (turf) areas.	Twice per month

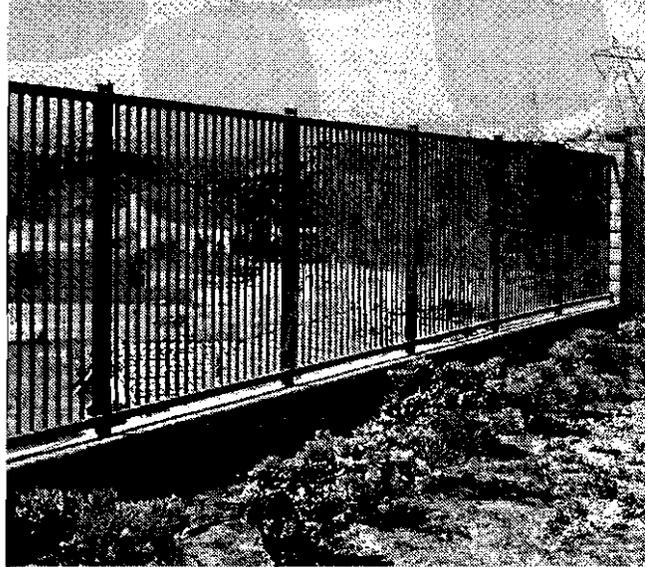
Maintenance	Frequency
Apply insecticides for control of aphids, snails, etc., and chemical control of plant diseases.	As needed
Remove weeds. Periodically apply appropriate herbicides for control of Bermuda grass, crabgrass, nutgrass and dandelions.	Twice per year and as needed
Apply fertilizers to replenish soil nutrients required for healthy turf and plant growth.	Four times per year: March, May, July, and September
Aerate and vertically mow turf areas to relieve soil compaction and thatch buildup, allowing air and water to reach the root system of grass.	At least once per year
Cut back excess groundcover to prevent "choking" of other trees and shrubs.	Quarterly, or as needed

#### Effects of Deferred Maintenance

Failure to provide adequate maintenance will result in deterioration of turf and groundcover areas and loss of appearance. Soil erosion may develop in areas where the groundcover and other plant life have deteriorated. Prolonged neglect could require new landscaping.

## WALLS AND FENCING

There are several different types of walls and fencing found on residential properties. Each type requires different maintenance tasks and frequencies. However, no matter what kind of walls and fencing you have there are some common guidelines.



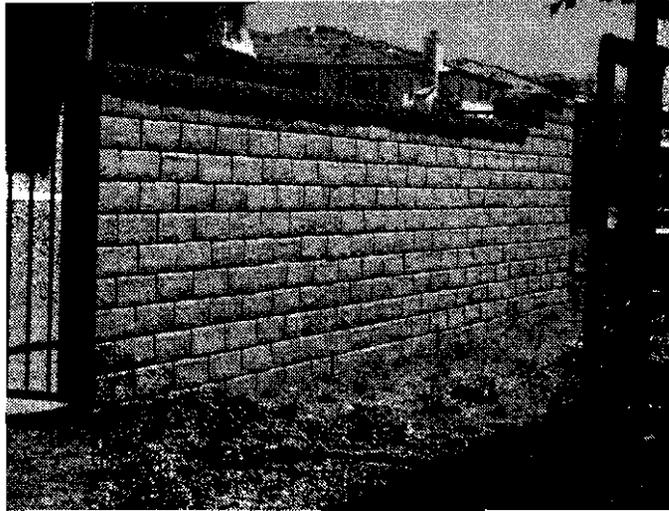
### What the Experts Say...

- **DO NOT Change the Grade.** The grade of the ground next to a wall or fence has been designed by an engineer. Changes may cause tilting and cracking, or cause wood fencing that comes in contact with soil to rot.
- **Pay Attention to Water.** As much as possible, keep sprinklers directed away from the walls and fencing. Prevent water from ponding near walls and fencing. Water, especially reclaimed water, can cause premature deterioration of the wall and fencing materials.
- **Trim Landscape.** Keep landscaping trimmed away from walls and fencing.

### Effects of Deferred Maintenance

Failure to maintain or lack of controlling unnecessary water, soil buildup, and adjacent planting, may result in deterioration of wall and fencing materials and a shortened life, as well as a poor appearance.

**Masonry**



As much as possible, keep sprinklers directed away from the walls and fencing.

**Recommended Maintenance**

Maintenance	Frequency
Inspect masonry wall for structural integrity, tilting or cracking. Repair as needed.	Every 4-5 years

**Stucco**

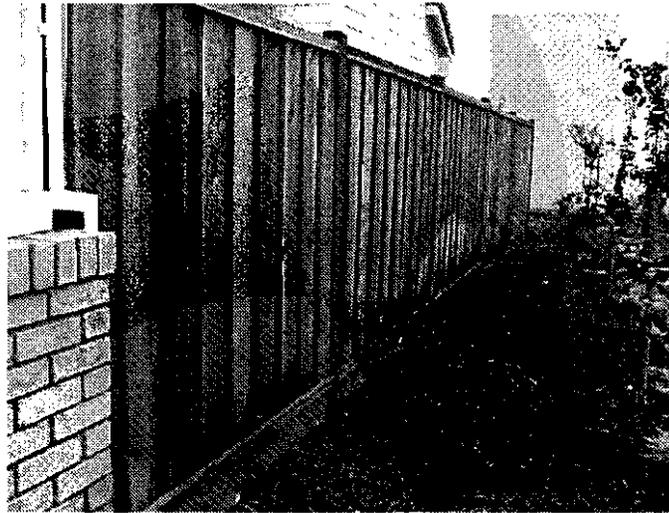


As much as possible, keep sprinklers directed away from the walls and fencing.

**Recommended Maintenance**

<b>Maintenance</b>	<b>Frequency</b>
Repair the stucco if it gets chipped or cracked.	Inspect periodically and repair as needed

Wood



As much as possible, keep sprinklers directed away from the walls and fencing.

Recommended Maintenance

Maintenance	Frequency
Restain or repaint wood fencing.	Inspect periodically and restain/repaint as needed (approximately every 3-5 years)

**Tubular Steel**

Metal fencing, with the character of wrought iron, is generally constructed of tubular steel. Maintenance is necessary to prevent rusting where the surface coating or paint is deteriorating, or where water or damp soil is allowed to accumulate around the support post bases.



As much as possible, keep sprinklers directed away from the walls and fencing.

**Recommended Maintenance**

Maintenance	Frequency
Inspect the length of the metal fencing for scratches, blisters, or peeling paint.	Annually
Inspect the post bases (down to the top of the concrete footings) to ensure they are not below the soil surface and subject to rust.	Annually
Repaint or repair finish. Be sure to clean the fencing, wire brush away any loose paint or rust, and use a rust-inhibiting primer the same day, then paint with high quality exterior "industrial" enamel.	Every 3-5 years or as needed

## Special Considerations

This section contains information and recommendations for special or unusual conditions, such as mold, that may be found in residential homes in your region.

### MOLD

Molds are part of the natural environment. Outdoors, molds play a part in nature by breaking down dead organic matter such as fallen leaves and dead trees, but indoors, mold growth should be prevented.

Molds reproduce by means of tiny spores; the spores are invisible to the naked eye and float through outdoor and indoor air. Mold may begin growing indoors when mold spores land on surfaces that are wet and have the necessary organic material (either in the finish material or dust and dirt on the surface) to "feed" them. There are many types of mold, and none of them will grow without water or moisture.

#### Moisture and Mold Prevention and Control Tips

This manual addresses many areas of maintenance related to cleaning and moisture monitoring and control inside and outside the home, all of which are part of the effort to reduce interior mold concerns.

The tips and techniques presented in this section will help you focus on how to both prevent and clean up minor mold problems. In the event of a major, sustained source of moisture intrusion and mold growth, professional cleaning and remediation services may be necessary, and will employ methods not in the scope of this manual.

- **Moisture Control is the Key to Mold Control.** So when water leaks or spills occur indoors - ACT QUICKLY. If wet or damp materials or areas are dried 24-48 hours after a leak or spill happens, in most cases mold will not grow.
- **Protect Yourself.** Avoid exposing yourself or others to mold.
- **Control Exterior Water Sources.** Perform preventive maintenance to prevent moisture buildup and intrusion:
  1. Control debris and ensure unobstructed drainage on the roof, gutters, and in the yard surrounding your home.
  2. Maintain the weather-tightness of the exterior surfaces and openings of the home.

- **Avoid Interior Water Sources.** Perform preventive maintenance on interior water sources, cleaning, and heating and air conditioning units:
  1. Keep air conditioning drip pans clean and the drain lines unobstructed and flowing properly.
  2. Monitor and maintain plumbing fixtures, tubs, showers, and related tile areas for leaks. Check caulking and repair or replace as necessary.
  
- **Prevent High Indoor Humidity.** Following are some ways to help control indoor moisture and condensation:
  1. If possible, keep indoor relative humidity below 60 percent, ideally between 30 and 50%. Relative humidity can be measured with a moisture or humidity meter, which is a small, inexpensive instrument available at many hardware stores.
  2. Run the bathroom fan or open the window when showering. Use exhaust fans or open windows whenever cooking, running the dishwasher or dishwashing, etc.
  3. If you see condensation or moisture collecting on windows, walls or pipes, **ACT QUICKLY** to dry the wet surface. Find the humidity or moisture source while increasing exhaust, ventilation, or the supply of heated or conditioned air, if possible.
  4. Cover cold surfaces, such as cold water pipes, with insulation.
  
- **Clean Regularly.** Keep interior surfaces, such as window ledges, clean to prevent aiding any moisture buildup from supporting mold growth. Scrub mold off hard surfaces with detergent and water, and dry completely.



Please note that mold may cause staining and cosmetic damage. It may not be possible to clean an item so that its original appearance is restored, and the item should be discarded. If the damages to the home interior finishes or articles are significant, consult with a specialist in water damage restoration and remediation, services commonly listed in phone books. Be sure to ask for and check references. Look for specialists who are affiliated with professional organizations.

This information includes guidance from the U.S. Environmental Protection Agency publication titled "A Brief Guide to Mold, Moisture and Your Home" and can be accessed at [www.epa.gov/iaq](http://www.epa.gov/iaq) or by contacting them directly at (800) 438-4318.

## PEST CONTROL

Proper pest control is an essential part of maintaining an adequate level of indoor hygiene. Rodents and insects can carry disease and vermin into the house and their preclusion is necessary for health reasons. Regular pest control treatment by the homeowner or a professional is recommended to achieve these goals.

### Termites

Wood-destroying termites are especially challenging pests. They are essential in nature to help get rid of dead wood and cellulose debris but they also do costly damage to wood structures. They are more common in warm areas but may be a problem anywhere. The possibility of termite infestation will be reduced by preventing moisture problems in your house. Small roof, window, or plumbing leaks may cause enough wet wood to encourage termites to invade your house. Also, keep wood piles and other debris away from your house as well.

Homeowners usually discover subterranean termites in the spring when winged "swarmers" come out after a rain and fly around to find mates and start new colonies. You should also look for "mud tubes" going up the side of your house or running under carpet, or small holes chewed through the sheetrock where swarmers emerge. A few "drywood" species of termites may infest wood that is not wet. These species do not reproduce as quickly as subterranean termites and do not damage wood as quickly.

Whenever soft wood is observed, such as when painting baseboards or exterior wood trim, the homeowner should employ a professional to evaluate the condition. Inspection is beyond the capability of the homeowner and only licensed exterminators are legally allowed to apply effective chemicals. The homeowner is cautioned to never bring wood that has been buried in the ground into home.



### What the Experts Say...

- **Handle Pesticides Carefully.** All pesticides are toxic to some extent. There are no completely "safe" pesticides. They should always be used according to label directions and handled with proper protective equipment listed on the label. They should always be kept out of reach of pets and children.
- **Pay Attention.** Don't allow wood or soil to build up around your home. Observe the maintenance recommendations in this manual for exterior of your home to reduce the potential of pest problems.
- **Call a Professional.** Have a professional service company inspect regularly and treat the condition as necessary.

## PROTECTING YOUR HOME WHILE YOU'RE AWAY

Your new home was designed for occupancy and this guide was prepared to present maintenance procedures for a long service life from your home as occupied. However, when you are going to be away from the home for an extended period of time, there are additional preventive measures you will want to take.



### What the Experts Say...

#### Appliances and Electricity

- Maintain electric power to the house.
- Refrigerators and freezers: Remove all contents, properly defrost, wipe down excess moisture, unplug the unit, and leave the doors secured in the ajar position.

#### Pest Control

- Plan for continued pest control services.
- Secure the building perimeter from penetration by animals, rodents and insects.

#### Security

- Consider purchasing a monitored security system that includes the smoke/ fire detection system. Maintain telephone service as required for the security system.
- For security purposes, consider installing timed lighting in multiple rooms.
- If your home is equipped with a fire protection system, have it checked by a reputable professional.
- Close and lock all doors and windows.

#### Water and Plumbing

- Close the water supply valve to the house. Ensure water supply to fire protection systems as applicable. If water supply is desired to be continued while the house is not occupied, have the plumbing system checked by a reputable, licensed plumber. Include faucets and hoses to dishwashers, refrigerators, icemakers, water filters, and clothes washers.

- Plan to have the home checked weekly for odors, plumbing and roof leaks. This walk-thru inspection can be done by neighbors or hired companies that perform such services.
- Seal toilets with kitchen-type plastic wrap. Place covers over all drains.

## STORM WATER POLLUTION PREVENTION

As a homeowner, it is your responsibility to properly dispose of contaminants that may harm the quality of the ocean, rivers, lakes and water supplies. The following is an excerpt from the State Water Resources Control Board brochure titled "Storm Water Pollution and the Solutions."

Do you know what responsibilities the State Water Resources Control Board (SWRCB) and the Regional Water Quality Control Boards (RWQCB) have regarding storm drain water? The SWRCB is responsible for protecting the quality of water in California and allocating water rights. The RWQCB staff monitors and enforces laws that protect the quality of water in California.

**Did you know...**

**...A sewer system and a storm drain system are not the same?**

These two systems are completely different. The water that goes down a sink or toilet in your home or business flows to a wastewater treatment plant where it is treated and filtered. Water that flows down driveways and streets and into a gutter goes into a storm drain which flows directly to a lake, river or the ocean. This water may pick up pollutants along the way which are never treated.

**...there are many types of pollutants which enter storm drains?**

Some common contaminants include motor oil, pesticides, brake dust, pet wastes, paint, and household chemicals.

**...the effects of the storm drain pollutants on our water can be harmful?**

These pollutants can have harmful effects on drinking water supplies, recreational use, and wildlife. Some very popular beaches have even been closed because of contaminated storm water.

**...there are ways you can prevent storm water pollution?**

By reading this pamphlet and educating yourself on what causes storm water pollution you are on the right path to preventing it. Share this knowledge with others:

- Don't dump waste in storm drains.
- Keep yard clippings out of the street.
- Dispose of household chemicals properly (follow the directions on the package or call your local public works department for proper disposal guidelines).

- Clean up oil spills and fix leaking automobiles.
- Sweep driveways clean - do not hose them down.

**What else is being done to control storm water pollution?**

The federal Clean Water Act requires various industrial facilities, construction sites, and urban areas with more than 100,000 people to control the amount of pollutants entering their storm drain systems. Industrial facilities and construction sites are regulated by the SWRCB through general storm water permits. Cities and Counties are regulated through permits issued by the RWQCB.

**What if I have more questions about storm water drainage?**

- Contact your local Regional Water Quality Board and ask to speak with someone about storm water pollution control programs. Refer to the list on the following page for the contact information for your local office.
- Find out more information on the State Water Resources Control Board Website at <http://www.swrcb.ca.gov/>.

## State Water Resources Control Board

[www.swrcb.ca.gov](http://www.swrcb.ca.gov)

Office of Legislative and Public Affairs

Legislative Information: (916) 341-5251  
 Public Affairs Information: (916) 341-5254

Water Quality Information: (916) 341-5455  
 Water Rights Information: (916) 341-5300

### California Regional Water Quality Control Boards

**North Coast Region (1)**

5950 Skyline Blvd., Suite A  
 Santa Rosa, CA 95403  
 (707) 576-2290 tel  
 (707) 523-6135 fax  
[www.swrcb.ca.gov/wqcb1/](http://www.swrcb.ca.gov/wqcb1/)

**San Francisco Bay Region (2)**

1615 Clay Street, #1401  
 Oakland, CA 94612  
 (510) 622-2309 tel  
 (510) 622-2460 fax  
[www.swrcb.ca.gov/wqcb2/](http://www.swrcb.ca.gov/wqcb2/)

**Central Coast Region (3)**

895 Avenida Plaza, Suite 101  
 San Luis Obispo, CA 93401  
 (805) 549-3147 tel  
 (805) 543-0397 fax  
[www.swrcb.ca.gov/wqcb3/](http://www.swrcb.ca.gov/wqcb3/)

**Los Angeles Region (4)**

329 W. 4th Street, Suite 200  
 Los Angeles, CA 90013  
 (213) 579-6600 tel  
 (213) 578-6640 fax  
[www.swrcb.ca.gov/wqcb4/](http://www.swrcb.ca.gov/wqcb4/)

**Central Valley Region (5)**

3443 Rutter Road, Suite A  
 Sacramento, CA 95827-3696  
 (916) 255-3000 tel  
 (916) 255-3015 fax  
[www.swrcb.ca.gov/wqcb5/](http://www.swrcb.ca.gov/wqcb5/)

**Fresno Branch Office**

1685 E Street  
 Fresno, CA 93706  
 (559) 445-7116 tel  
 (559) 445-5910 fax  
[www.swrcb.ca.gov/wqcb5/](http://www.swrcb.ca.gov/wqcb5/)

**Redding Branch Office**

415 Knollcrest Drive  
 Redding, CA 96002  
 (530) 224-4845 tel  
 (530) 224-4857 fax  
[www.swrcb.ca.gov/wqcb5/](http://www.swrcb.ca.gov/wqcb5/)

**Lahontan Region (6)**

2501 Lake Tahoe Blvd  
 South Lake Tahoe, CA 96150  
 (530) 542-5400 tel  
 (530) 544-2271 fax  
[www.swrcb.ca.gov/wqcb6/](http://www.swrcb.ca.gov/wqcb6/)

**Victorville Branch Office**

15426 Civic Drive, Suite 100  
 Victorville, CA 92392-2383  
 (760) 241-6583 tel  
 (760) 241-7308 fax  
[www.swrcb.ca.gov/wqcb6/](http://www.swrcb.ca.gov/wqcb6/)

**Colorado River Basin Region (7)**

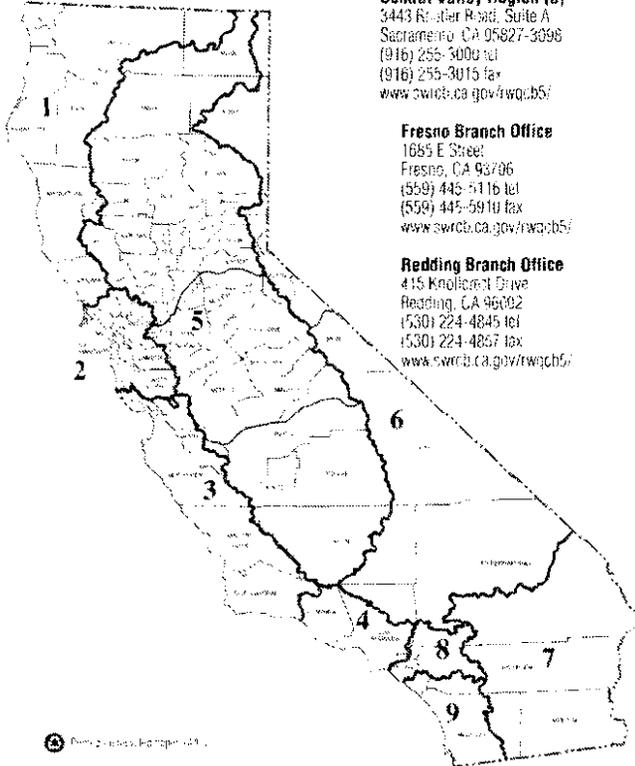
73-720 Ford Waring Dr., Suite 100  
 Palm Desert, CA 92260  
 (760) 346-7491 tel  
 (760) 341-6820 fax  
[www.swrcb.ca.gov/wqcb7/](http://www.swrcb.ca.gov/wqcb7/)

**Santa Ana Region (8)**

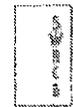
3737 Main Street, Suite 500  
 Riverside, CA 92501-3339  
 (909) 782-4130 tel  
 (909) 781-6288 fax  
[www.swrcb.ca.gov/wqcb8/](http://www.swrcb.ca.gov/wqcb8/)

**San Diego Region (9)**

9174 Skybank Court, Suite 100  
 San Diego, CA 92122  
 (619) 467-2952 tel  
 (619) 571-6972 fax  
[www.swrcb.ca.gov/wqcb9/](http://www.swrcb.ca.gov/wqcb9/)



Map courtesy of the Department of Water



State of California  
 Gray Davis, Governor

California Environmental Protection Agency  
 Win Stinebaugh, Director

State Water Resources Control Board  
 Arthur G. Baughn, Sr., Chair

Map courtesy of the Department of Water

## Home Maintenance Summary

As a new homeowner, a scheduled maintenance program is the best way to ensure you will maximize the value and enjoyment of your home. For easy reference, this chapter contains some of the primary maintenance recommendations outlined in the preceding chapter, grouped by how often the work should be done. Refer to the corresponding sections in this manual for more detailed information and additional recommendations and precautions.

### MONTHLY

Component	Task
<b>Backflow Preventer</b>	Check for visible leaks and vandalism.
<b>Drainage</b>	Inspect drains, inlets and catch basins for blockages. Inspect downspouts carrying water from roof gutters to ensure the drainage is directed to appropriate drains. Inspect surface swales to ensure that they are draining freely. Ensure that a 2% grade is maintained.
<b>Exterior Sliding Doors</b>	When vacuuming, run the nozzle along the tracks of all sliding doors to remove debris, help prevent damage to rollers and allow for proper drainage during rains.
<b>GFCI</b>	Test the GFCI test and reset buttons.
<b>HVAC Air Filter</b>	Inspect the air filters and change or clean as needed.
<b>Irrigation Controller</b>	Inspect controller for moisture damage and corrosion. Check for dead backup batteries, loosened connections, deteriorated weatherproofing or damaged hardware. Inspect time clock to determine that the scheduled program is working properly, and adjust for proper watering.
<b>Irrigation Valves</b>	Manually operate and visually inspect the valves to ensure proper working condition. Inspect quick coupling valves, and ball or gate valves.
<b>Interior Caulking</b>	Check the caulk joints around plumbing fixtures, tub and shower areas, ceramic tile, and doors or windows on the interior where caulking was installed. Remove and replace as needed when it is split or coming off.
<b>Lighting</b>	Check for and replace burned out bulbs.

Component	Task
<b>Plumbing</b>	Inspect for leaks around toilets, sinks, showers, tubs and the water heater. Monitor the condition of tub and shower enclosure surfaces. Note any dampness or staining that might be evident on the floors or walls adjoining the shower or tub, and make repairs as needed.
<b>Sprinklers</b>	Inspect condition of sprinkler heads, lines and their parts. Ensure appropriate coverage in all areas. Use the manual run function of your sprinkler system to check the coverage and flow of your sprinkler heads.
<b>Tubs and Showers</b>	Thoroughly clean ceramic tile surfaces and grouting with tile cleaner and a brush. Check sealant and grout condition, and repair as needed. Check shower door seals to ensure they haven't slipped, allowing leakage around the doors.

### QUARTERLY

Component	Task
<b>Drainage</b>	Cut groundcover around drain inlets and swales and remove debris.
<b>Dryer Vent</b>	Check the dryer vent for strong air flow when dryer is running. Check to ensure the vent flapper hinges work smoothly and that the area under the hood is clean.
<b>Exhaust Fans</b>	Clean reusable filters and screens with soap and water. Replace the filters per the manufacturer's recommendation or when the filters become too dirty to respond to cleaning.
<b>Exterior Doors</b>	Inspect weatherstripping to ensure it forms a tight seal against the door surface when the door is shut.
<b>Exterior Lighting</b>	Clean the encasement so light can shine at full illumination and ensure that mounting screws and plates are tight and wall plate is fully against the exterior wall or soffit.
<b>Faucet Aerators</b>	Clear out aerators on faucets to remove dirt and foreign matter.

Component	Task
<b>Garage Doors</b>	Check for any loose track or spring mounting bolts or screws, as these can affect the door alignment and operation.

### SEASONALLY

Component	Task
<b>A/C Condensate Drain Line</b>	Inspect the condensate drain lines to ensure that water is flowing freely.
<b>Decks</b>	Inspect the deck for proper drainage.
<b>Fireplace</b>	Inspect your fireplace, chimney, dampers and flue. Inspect for obstructions in the chimney (such as a bird's nest). Have your chimney professionally swept after every two cords of wood that you burn.
<b>Gutters and Downspouts</b>	Check and clear gutters of all debris.
<b>Windows</b>	Clean window tracks of any debris to keep the weep holes free of blockage to prevent water from leaking into your home.

### TWICE PER YEAR

Component	Task
<b>Cabinets</b>	Tighten hardware and check alignment.
<b>Drainage</b>	Flush inlets, catch basins and lines to keep them free of debris.
<b>Exterior Doors</b>	Check door finishes. Use a spray silicone lubricant to keep sliding door hardware functioning smoothly.
<b>Plants</b>	Check plants, turf and trees for plant stress and fertilize or treat as needed.
<b>Roof</b>	Inspect the interior ceiling and attic for roof leaks. Inspect the general roof appearance for debris, drainage, and general condition.

Component	Task
<b>Screed and Foundation</b>	In areas subject to termite infestation, inspect the base of the wall for termite 'tubes' between the grade and the base of wood framing. Contact a qualified pest control service if necessary.
<b>Smoke Alarms</b>	Test your smoke alarms by pressing the test button on the outer cover. The alarm will sound if the detector is working properly. Replace the batteries as needed.
<b>Windows</b>	Lubricate window tracks with silicone or paraffin sprays. Clean window frames with water and mild soap.

### ANNUALLY

Component	Task
<b>Backflow Preventer</b>	Schedule a licensed inspector to check for leaks.
<b>Carpeting</b>	When carpet becomes too soiled to respond to home maintenance, contract a reputable professional cleaner to clean it.
<b>Ceramic Tile</b>	Inspect and, if necessary, regrout ceramic tile joints when normal shrinkage causes separation.
<b>Concrete</b>	Inspect concrete for lifting, separating and cracking.
<b>Decks</b>	Inspect exposed flashings at the deck perimeter, railings, and adjoining doorways to ensure the sealant at joints and laps is intact. Check deck surfacing for any splitting, cracking or deterioration of the coating. Check for staining of interior or exterior finishes at or adjoining the underside of the deck that might indicate leaking of the deck assembly.
<b>Exhaust Fans</b>	Inspect and clean the exterior hoods or vents. Ensure that the backdraft damper (flap) is clear and free moving.
<b>Exterior Caulking and Sealant</b>	Check for cracking or incompletely adhered caulking and sealant, and repair or reapply as needed. Common areas for this maintenance are around the light fixtures and windows.

Component	Task
<b>Garage Doors</b>	Inspect the finish on the doors. Rollup garage doors require periodic lubrication of hinges and roller assemblies. Check for rust and deterioration of door counterbalance springs.
<b>Gutters and Downspouts</b>	Check any seams or joints in the gutter and downspout system to determine if resealing is necessary.
<b>HVAC System</b>	Contact a professional service company to service your system.
<b>Irrigation Valves</b>	Thoroughly inspect the valves and their parts.
<b>Roof</b>	Inspect for any damage, slipping, or lifting of the roofing and related flashing. Inspect flashing at edges and around pipe collars to ensure laps and seals are in place and unbroken. Repair as needed.
<b>Screed and Foundation</b>	Inspect the base of wall area to ensure it is clear of debris, etc.
<b>Siding</b>	Inspect for loose siding boards and trim, signs of deterioration, rot, insect damage and/or infestation. Replace rotted or deteriorating boards; refasten loose siding or trim. Seal all new and repaired fasteners.
<b>Trim and Accents</b>	Inspect for chipping, peeling or other signs of finish failure. Check and caulk where gaps exist. Ensure that the wood or metal shutters and accents are secured to the side of the house.
<b>Tubs and Showers</b>	Reseal joints at wall, tub, and receptor junctures. Fill any grout joints that may have developed gaps. Inspect seal at bottom of shower door; adjust if necessary to keep water from leaking out of the enclosure.
<b>Walls and Fencing</b>	Inspect the walls and fencing for damage or premature deterioration.
<b>Water Heater</b>	Drain the water heater tank.
<b>Water Pressure Regulator</b>	Inspect for proper functioning by reading the pressure with a gauge on a faucet.
<b>Windows</b>	Caulk around the window to keep water out. Take care not to seal weep holes!



## Glossary

Here are helpful words you will want to know.

**Aerator** - Located at the end of the kitchen and bathroom faucets. It mixes air with the water in order to provide a smooth, splash-free flow of water. Occasionally, debris may collect in the aerator and restrict the flow of water. If this happens, unscrew the aerator and remove the debris.

**Amperage rating** - Refers to the amount of electric current (measured in amps) that a circuit breaker or other electrical device or connected equipment is designed or rated to carry and is limited to.

**Attic scuttle** - The opening in the ceiling which gives access to the attic space.

**Ball float/float ball** - This is the float device found in the toilet tank that controls the automatic filling of the tank after flushing, and turns it off when refilled. It may actually be a ball-like float at the end of a lever to the filler valve, or it may be a float integrated with the valve assembly.

**Base/Baseboard** - The strip of molding or trim at the bottom of walls. The baseboard adds an attractive finish and protects the wall from scuffs and damage from furniture or vacuum cleaners.

**Berm** - A small ridge of soil that directs the flow of rain and irrigation water toward drains or sewers.

**Caster** - The roller device designed to fit to the legs or base of furniture and appliances to facilitate its smooth movement over the floor or protect the floor finish.

**Catch basin** - refers to a concrete or molded plastic drainage collector box, usually connected to an underground drainage line. It may serve as an area drain at the low point of the yard, may be the termination of a drainage swale, and may be a collector for other local drainage lines such as those from downspouts.

**Caulking** - This material is used as a sealant around sinks, tubs and showers. Other applications for caulking include sealing window and door frames. Also referred to as sealant.

**C.C.&R.'s** - The covenants, conditions, and restrictions that govern a subdivision.

**Circuit** - The electrical system in your home is separated into individual units referred to as circuits. Depending upon the layout of your home and electrical codes in your area, each circuit may be designed for a room, an area of the home, or a single appliance.

**Circuit breakers** - Prevent electrical overload or shorting. The circuit breaker opens the circuit when an overload or short occurs, thereby breaking the flow of electricity. It can be reset manually by moving the circuit breaker lever OFF and then to the ON position once the source of overload has been corrected. Refer to the Electrical System and Safety section of this manual for more information.

**Common areas** - Many neighborhoods have areas that are common property and owned by a homeowners association. These areas may include streets, parking areas, walkways, slopes and recreational areas. They are maintained and their use is governed by the homeowners association.

**Condensation** - The moisture droplets that form on cool surfaces when warmer humid air (such as from baths, cooking) comes in contact with cooler surfaces, such as windows or occasionally interior wall surfaces.

**Condenser** -The heating and air conditioning system unit that is located outside the home.

**Cultured marble** - This is a man-made product that has much of the durability and beauty of natural marble.

**Damper (fireplace)** - An operable valve at the top of the fireplace firebox that can be set to open or close the chimney flue.

**Drywall** - The interior walls of a home are usually constructed of drywall. This material is also called gypsum board or sheetrock. The material is functional, and can be textured and painted to complement the style of any home.

**Efflorescence** - The white, powdery substance that sometimes accumulates on stucco, masonry, concrete and brick. Excessive efflorescence can be removed by scrubbing with a strong vinegar solution or commercial product.

**Erosion** - The flow of water from irrigation systems or rain can erode landscaping and change the drainage of the yard. Most erosion can be prevented by maintaining the original grading of the yard.

**Expansion** - The increase in dimension, usually length or volume, that is typical of solid, liquid, and gaseous materials when their temperature increases.

**Expansion joints** - Joints or intentional breaks in materials, such as paving, stucco, or metal assemblies, which allow adjoining material to expand without deforming or cracking.

**Faucet cartridge** - the interior plastic piece of the faucet, which, when turned, allows the water to flow.

**Flap, flapper (toilet)** - The rubber 'flapper' at the bottom of the toilet tank that is typically linked to the flush handle so that it opens to allow water into the toilet bowl when flushed.

**Flashing** - Usually composed of sheet metal (or occasionally another waterproof material) that is formed and installed to tie building assemblies together in a waterproof manner. They are common elements found in roofs, decks, and wall penetrations.

**Flue (fireplace)** - The pipe or chimney that carries products of combustion from furnaces, fireplaces, or other heating appliances.

**Fluorescent** - The lighting fixtures that provide even, soft illumination in kitchens, bathrooms, and other areas of the home.

**GFCI** - Abbreviation for Ground Fault Circuit Interrupter. Similar to a circuit breaker in that it is designed to interrupt the flow of electricity. GFCI's are usually located in the garage, kitchen or the bathrooms. In the event of a short circuit, such as dropping an appliance into a filled tub or sink, the GFCI may break the electrical circuit immediately and prevent a serious electrical shock.

**Graphite** - A carbon-based powdery substance that is used as a lubricant for applications in which oil can be damaging. Graphite is usually recommended for use on your aluminum windows and doors.

**Grout** - Grout is the cement-like material visible between squares of ceramic tile.

**Hardware** - The hinges, locks, handles and other metal attachments to doors, cabinets, and drawers are commonly referred to as hardware.

**Homeowner maintenance** - As a new homeowner you need to routinely maintain the various features of your home. Some of these maintenance items have been indicated in the Homebuilder's Warranty section of this manual. This continuing maintenance is the responsibility of the owner.

**Homeowners Association (HOA)** - In some areas, neighborhoods are governed by a small group of homeowners who represent the interests of all nearby homeowners. The association is usually formed by the builder and is turned over to the homeowners when the majority of the homes are sold. The association collects dues that are to be used for proper maintenance of the common areas and to communicate with the members.

**Hose Bib** - A water faucet that is outside the home and is intended for use with a garden hose.

**Incandescent** - Lighting fixtures that use traditional light bulbs are called incandescent fixtures. Incandescent lighting is used for lamps, spotlighting, and exterior lighting.

**Laminate** - A thin, solid surface finish bonded to a backing panel to provide a durable, stiff, aesthetic surface; often refers to plastic laminate such as Formica, or may refer to a veneer such as wood.

**Manufacturer's Warranty** - The appliances and certain other components of a new home are covered by warranties that are supplied by original manufacturers. These warranties are passed on to you. They include components of the plumbing and electrical systems, heating and air conditioning system, water heater, and other manufactured items.

**Masonry** - The concrete, block and brickwork in a home. Often used to construct exterior landscape walls.

**Neutral base or neutral pH cleanser** - A cleaning product that is neither acidic or base (alkali) chemically; often refers to tile and grout cleaners.

**Polyurethane** - This refers to a wide variety of synthetic polymer materials, but for home maintenance refers mostly to durable synthetic rubber sealants (caulking) or coatings used for exterior caulk, or as part of waterproof coatings for decks and retaining walls.

**Porcelain enamel** - Your tubs and sinks may be constructed of porcelain-glass enamel. Made of a silicate paint which is fired onto steel at high temperatures, it forms a durable smooth and shiny surface much like glass.

**Return air vent** - Because modern homes feature almost airtight seals, the heating and air conditioning systems require return air vents to draw air back to the heating and cooling system.

**Scupper** - This is a channel or box-like drain collector, usually sheet-metal, that collects water from the roof or deck surface and carries it through the surrounding wall or parapet to drain to a downspout or the ground below. The scupper may be the primary drain for the roof or deck, or may be a slightly raised overflow drain.

**Settling** - In the first months and for years after a new home is built some settling can occur as the underlying soil gains and loses moisture. Minor settling is normal, particularly in the first months after a new home is built.

**Shower receptor (shower pan)** - This is the waterproof floor and curb assembly that incorporates the shower drain at the base of the shower walls or glass enclosure. It may be built on-site of ceramic tile over waterproofing and framing, or it may be a molded or cast one-piece waterproof fixture made of fiberglass or a synthetic solid composite, incorporating the drain.

**Shut off valves** - There are several types common to a house. Water supply shut off valves (aka angle valves), are located at the toilets and sinks. The main water supply shut off to the house is usually located in a hand box at the sidewalk. The natural gas shut off is usually located at the gas meter.

**Spackle** - The putty-like material that is used to fill surface irregularities in drywall. Its most common use is to fill nail holes in walls before repainting.

**Stucco** - The mortar-like material that covers the exterior of many homes is called stucco. It provides excellent durability, insulation, and beauty to the home. Stucco is relatively brittle so you should avoid sharp blows to the walls. Turn sprinklers away from stucco to prevent water stains.

**Swale** - Refers to sloped surface drainage channels or paths, which may be simply turf and soil, or may be concrete or other paving material. They may serve to collect local yard surface drainage or may also include collected drainage from adjacent banks and properties, and generally carry drainage to a catch basin, street, or other established drainage inlet.

**Tack strips** - The devices between the sub-flooring and carpeting that are used to hold carpeting in place.

**Thermostat** - The wall-mounted device that controls the heating and air conditioning units is a thermostat. By cycling the heating or air conditioning units on and off, it will maintain a desired temperature in the home.

**Vitreous china** - The kiln-fired, pottery material that is used in most toilet bowls and tanks. It is a very durable and impervious to water but can be broken by sharp blows from hard objects.

**Water pressure regulator** - An adjustable plumbing device used to control the amount of water pressure going into the home. It is usually located near the water shut-off valve where the water pipe enters the house or garage.

**Wax ring (toilet)** - This is a donut-shaped wax seal that is installed between the base of the toilet and the plumbing sewer pipe floor flange. The wax accommodates any slight variations in level or thickness of the flooring under the toilet, which has "coupling" bolts that attach the base of the fixture to the pipe flange.

**Weep holes** - Small holes in door and window frames that allow water to drain away are called weep holes. They should be kept free of dirt and debris, and never sealed.

**Weep screed** - A flashing device and a stucco screed at the base of a stucco wall that allows moisture to “weep” or drain from the wall system.

## Appendix

### References

#### Technical Advisors

Building Analysts, a division of Salerno/Livingston Architects, San Diego, CA.

Rimkus Consulting Group, Ft. Lauderdale, FL.

#### Books

MacLellan, David E. and Wolfson, George E. *The National Home Maintenance Manual*. Sacramento: Building Standards Institute, 2004.

#### Additional Sources

#### **Mold:**

U.S. Environmental Protection Agency. *A Brief Guide to Mold, Moisture and Your Home*.  
[www.epa.gov/iaq/molds/moldguide.html](http://www.epa.gov/iaq/molds/moldguide.html).

#### **Electrical Safety:**

U.S. Consumer Product Safety Commission. [www.cpsc.gov](http://www.cpsc.gov).

### **Additional Builder Supplied Information**



## Manufacturer's Documentation

*This section may contain the care, maintenance and warranty information for the manufactured products installed in the home.*



